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on behalf of Jubilee Metals Ltd
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11 December 2025

Jacqui Cresswell, Chief Executive Officer
Croydon Shire Council
63 Samwell Street Croydon QLD 4871
PO Box 17 Croydon QLD 4871

Dear Ms Cresswell,

RE: Material Change of Use proposal (non-resident workforce accommodation) located on vacant land between Helen Street and Edith St, Croydon QLD 4871 (Lot 12 MPH15920, Lot 170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915 & Lot 161 MPH15915, Lot 1 MPH22204).

This application is to Croydon Shire Council for a Material Change of Use, from vacant land to a temporary non-resident workforce accommodation facility. The application comprises of an application form, site plan, product specifications of pre-engineered buildings and equipment and this planning report.

It is considered that the proposed development is appropriate for this location and complies with applicable planning regulations as defined in the Croydon Shire Planning Scheme. The proposed development:

1. Can meet the Purpose, Objectives, Performance Outcomes and Acceptable Outcomes for the Township Zone code;
2. Provides sound measures to mitigate and prevent any impacts on the existing nature or character of the area, and the amenity of surrounding residents.
3. Is self-reliant for all infrastructure and servicing needs, placing no additional strain on Council's existing infrastructure networks.
4. Can meet the Performance Outcomes and the purpose of the General development code for land included in the Township Zone (residential precinct) of the Croydon Shire Planning Scheme.
5. Will return the site to its original condition as vacant land, with the cessation of the Temporary use.

I trust that the Council's development assessment process will reach the same conclusions.
If you require more information, please don't hesitate to contact me.

Yours sincerely,



Sarah Rizvi- Planning consultant
On behalf of Jubilee Metals Ltd- Proponent

Planning report for Temporary Non-resident Workforce Accommodation

PLANNING REPORT

Applicant:	Jubilee Metals Ltd
Project name:	Croydon gold mine temporary workforce accommodation
Development type:	Material Change of Use (MCU)
Use definition:	Non-resident workforce accommodation
Lot on Plan:	Lot 12 MPH15920, Lot 170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915& Lot 161 MPH15915, Lot 1 MPH22204
Street address:	Vacant land between Helen Street and Edith St, Croydon
Tenure:	Freehold
Zone:	Township Zone (Residential precinct)
Level of assessment:	Code assessable
Assessment benchmarks:	Township zone code & General development code

The Site

The site is currently five, adjoining, vacant lots located between Helen Street and Edith Street within Croydon's Township zone. The site is located south of the current office and ranger depot of Tagalaka Aboriginal Corporation (TAC), on 87 Samwell Street and an adjoining private residence on 36 Helen Street.

The site has road frontage onto Helen Street, and its rear boundary has frontage onto Edith Street. Helen Street is a dual-carriageway, partially bitumen-sealed road, and Edith Street is an unformed road reserve. Vehicle access would be directly from the Helen Street frontage.

The site is comprised of six regular, rectangular shaped residential lots of 1,000sqm each, creating a total site area of approximately 6,000m², providing a larger site to accommodate the use in aggregate. These lots would be amalgamated if the proposal was for a permanent facility, however as the use is temporary, it will be spread over these six existing, adjoining titles, whilst avoiding any building footprints over property boundaries.



Figure 1: Proposed development site highlighted in red outline

The site is owned by Tagalaka Aboriginal Corporation RNTBC (TAC), and is freehold land. These lots are part of a continuous bank of 17 continuous lots with frontage onto Samwell Street (formed, sealed local road) Helen St (formed, partially sealed, local road) and Edith St (unformed road reserve). The land is very flat and featureless, and well suited to accommodate infill development within the settlement footprint of Croydon, as defined by the Township zone.

The proposed development

The proposed development is for a Material Change of Use (MCU) to a non-resident workforce accommodation) to accommodate up to forty-four non-resident workers on site, with sleeping quarters, amenities, a communal breakfast crib, office & undercover recreation area and laundry facilities.

The facility will provide temporary accommodation for Jubilee Metals Ltd workforce, while a more permanent workforce camp is being constructed on another site. This current site is projected for 18 months, and will ccess in 2027. All buildings, footings, and infrastructure will be removed from site with the use's cessation, and the site will be returned to its original condition as vacant land.

Accommodation will be provided in 11x four-bedroom accommodation transportable buildings. Each of the 44 individual room will be air conditioned and have its own en-suite with shower, hand basin and toilet. The buildings will be arranged in pairs facing into each other, each joined by a covered awning. One accommodation unit will be paired with an on-site laundry facility.

A communal breakfast crib room, office and store, and laundry room will be provided in three separate portable buildings of the same dimensions. The proposed facility will include a covered shade structure to create an outdoor recreational common area for the benefit of the non-resident workforce on site.

The facility will be accessed via a sealed driveway and a carpark, accommodating up to 23 vehicles on site. The carparking requirements of the planning scheme are not fit for purpose in regard to this proposal, as the workforce will be Fly in/ fly out (FIFO), firstly via Normanton airport and then directly into Croydon airport, and transported to the site via a fleet of 3x 12-seater buses, provided by the company. These buses will be housed and kept overnight onsite. Three larger parking bays have been included in the site design to accommodate these buses. As the non-resident workforce will be FIFO workers, there will be very few other vehicles needing to be parked on site.

The proponents request a dispensation from Council from the Croydon Shire Planning Scheme requirements, to a reduction of 23 on site car parking bays- three of which will be able to accommodate a 12-seater bus.

The site will be managed as a contractor camp, and rooms will be used exclusively for Jubilee Metals Ltd's Croydon gold mine project workforce. Jubilee Metals Ltd is entering into a lease arrangement with TAC for use of the site for the duration of construction period of the more permanent workers accommodation facility. This arrangement will generate revenue to TAC to support the maintenance and overheads of the site, as well generating a small profit depending which will be returned back to TAC to further fund their work serving Tagalaka people and country.

The camp will be fully self-contained and self-reliant for water and electricity supply and sewerage disposal. This will include:

- 3x Onsite effluent disposal systems with a 20-man camp capacity (4,000L per day). The product is an OzziKleen waste water system- SK20A (Standard Effluent Quality) transportable skid-mounted sewage treatment system.
- 2x silenced 150KVA generators (1 is backup only)
- 1x Main distribution board (RPEQ Design) & 5,000L fuel pot.
- 3x Raw water & 2x Potable Water Storage tanks.

All of this infrastructure is fully portable and will be removed from the site after cessation of the use. A suitably qualified hydraulic engineer will develop a Waste Water Management Plan (WWMP) once a decision notice has been issued by Council.

The proponent requests that this WWMP be provide as a condition of approval, and psubmitted after the decision notice has been issued, and before the commencement of the use on site.

Access will be from Helen Street, via the intersection from Samwell Street and Helen Street, which is located approximately 80m from the site's frontage. Helen Street is a partially bitumen sealed local road. It is unsealed for a distance of approximately 65m from the end of the bitumen to the southern extent of the site's road frontage. Access will be via this unsealed frontage. The lot with direct frontage onto Helen Street will include an access driveway with 20 on site car parking bays and 3 larger, 12-seater bus parking bays.

The proponent requests that the unsealed portion of Helen Street adjacent to the site frontage, along with the internal driveway, access crossover and car parking area, be surfaced with compacted cracker dust. Jubilee Metals' fleet of water trucks will maintain this surface through regular watering to suppress dust generated by increased vehicle movements on site for the duration of the use.

Background

This development will support Jubilee Metal Ltd's (Jubilee) Croydon Gold Mine project. Operating in Croydon since 2012, Jubilee projects in Queensland include several precious and base metals near term gold exploration and development projects.

Jubilee is seeking to develop the Croydon Gold Mine project for the purpose of mining and processing gold. The project proposes to take advantage of current favourable market conditions as Australian dollar gold prices, along with US dollar gold prices, have risen since 2020 to historic heights (LBMA, 2023). Jubilee is well-positioned to capitalise on the strong gold market and competitive operating costs in a highly prospective gold region.

The Croydon region is a historically significant gold-bearing province, having yielded 1.8 million oz of gold during the late 1800's gold rush. Within the project's mining lease, there remain four historic gold mine pits: Golden Butterfly Pit, Golden Butterfly North Pit, Content Pit and Lady Isabella Pit. Jubilee proposes to increase the intensity of mining activities, which requires new disturbance areas

Planning report for Temporary Non-resident Workforce Accommodation

to accommodate associated infrastructure such as waste rock dumps and a mine infrastructure area to facilitate the crushing and processing facility, as well as the use of existing pits as tailings storage facilities.

The project is poised to become a major contributor to local economy of Croydon, with flow-on benefits to local businesses such as the Croydon Club Hotel, Croydon Café and supermarket, Kickin' kitchen and BP roadhouse. Each of these local businesses are likely to experience a sharp increase in business activity, which in turn will generate an increase in local employment & economic activity. The Croydon mine project is likely to be a major economic catalyst and employment generator for the Croydon Shire for the next decade and beyond.

Planning statement

LEVEL OF ASSESSMENT

The tables of assessment in the Croydon Shire Council Planning scheme determine that the Material change of use for Non-resident Workforce Accommodation in the Township zone is Code Assessable.

Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
non-resident workforce accommodation		Township zone code General development code

Ref: Page 22 of the Council planning scheme.

The relevant codes by this development proposal are identified in this Table.

The following section summarises how the proposed development complies with the development codes identified in this Table.

STRATEGIC FRAMEWORK

As a Code Assessable use class in the Township zone, the proposal does not need to be assessed against the Strategic Framework, however as the following Strategic Intent statement is particularly relevant, a development response to it has been provided.

3.3 Strategic intent statements

3.3.1 Encouraging economic growth

3.3.1.3 Resources Mining has historically been a significant economic driver for Croydon though current mining activity is limited to exploration. New mining opportunities are encouraged though must satisfy any constraints including environmental and agricultural. Extractive industry sites are to be rehabilitated once the resource has been exhausted or the extractive industry use becomes no longer viable. New land uses do not result in conflict with existing mining operations or tenements. Where possible, non-resident workforce accommodation is to be located within the Croydon township.

Development response

This strategic intent statement relates directly to both the Jubilee Metals Australia Croydon Gold Mine project, and the associated temporary workforce accommodation which is subject of this planning report.

The proposed development aligns with the Shire's strategic approach to balancing economic growth with responsible resource management and community integration.

In accordance with the strategic preference for locating non-resident workforce accommodation within Croydon township, this approach supports the local economy by maximising opportunities for workers to access existing services, retail facilities, and community amenities.

Concentrating workforce accommodation within the township boundary enhances service efficiency and provides greater social and economic benefits to the established community compared to remote arrangements. Over the duration of this temporary use, the Croydon recreation centre is likely to experience an increase in use, which may activate the space and contribute to its upkeep.

This development strategy reinforces the Shire's objective of fostering sustainable economic growth while maintaining the character and viability of Croydon as the primary service centre for the region.

Site context

The map below highlights the site's location within the context of the Township zone boundary (outlined in green) and other zone precincts (shown in fill colours).

As demonstrated, the site occupies a strategic position on the edge of the residential precinct, directly bordering the Township zone (no Precinct). It is positioned between Helen Street & Edith Street, and well connected via the local road network to town services and facilities, whilst occupying a visually discreet location which will not impact on any of Croydon's heritage features and precinct.



Figure 2: Croydon Township zoning map with proposed development site highlighted in green.

Development response

The site exhibits several favourable characteristics that support its suitability for a non-resident workers accommodation:

- The land is flat, cleared, and vacant, with no topographical or environmental constraints that would impede development. There is some native vegetation on Lot 12 MPH15920,

Lot 170 MPH15915 which will be cleared, but this vegetation is not significant or ecologically valuable.

- The site is serviced by the local road network with direct sealed road access via Helen Street.
- The site is located within easy, practical walking & cycling distance of services and amenities in central Croydon.
- Sufficient distance from Croydon's heritage precinct and town centre to avoid any visual impact or compromise to the township's character and amenity.
- The site is bordered by:
 - The TAC office and ranger base to the west (non-residential government infrastructure)
 - Vacant lots to the south and east
 - Edith Street (unformed road reserve) effectively providing a vacant land buffer directly to the east.
 - Buildings set back from Samwell Street frontage, providing considerable distance between dispersed residential dwellings across the street.
 - Only one residential property directly adjoining the development site, which will be buffered and set back from car parking areas by one vacant lot.

The site's location, established local road network access, physical characteristics, and surrounding land use pattern make it well-suited for temporary workers accommodation.

The proposal will utilise vacant, serviceable land without unduly impacting the residential amenity of the established neighbourhood or the heritage character of Croydon's town centre.

Planning assessment

Township Zone code

The purpose of the Township zone is to provide for:

- a) *small to medium urban areas in a rural area*
- b) *a variety of uses and activities to service local residents, including, for example, business, community, education, industrial, open space, recreation, residential or retail uses or activities*
- c) *tourist attractions and short-term accommodation, if appropriate for the area.*

Croydon Shire Council's purpose of the Township zone is to also provide for the urban development of the Croydon township as the community and service centre of the Shire.

The Township zone aims to:

- a) *maintain the character and amenity of Croydon*
- b) *provide for the continuation of existing infrastructure and community uses such as schools, halls, medical and recreation facilities*
- c) *allow for tourist uses where these can be successfully integrated into the character and fabric of the town*
- d) *protect Croydon's heritage buildings and places and the historic amenity of the township*
- e) *ensure that development provides an appropriate level of infrastructure*
- f) *facilitate economic development in the general township zone and commercial and industrial precincts by:*
 - i. *promoting re-use of existing heritage and character buildings*

- ii. *providing for a wide range of industrial uses where they do not conflict with sensitive land uses*
- iii. *encouraging non-resident workforce accommodation to be located within the Township zone.*

Development response

The purpose of the zone recognises short term accommodation as a legitimate and appropriate use within the Township zone. The aims of the zone encourage non-resident workforce accommodation to be located within the Township zone, consistent with this proposal.

The site falls within the Residential precinct of the Township zone. The purpose of the zone will also be achieved through the following additional precinct outcomes:

Residential precinct:

- i. *This precinct supports predominantly dwelling houses on residential lots where lot size is consistent with existing town character.*
- ii. *Limited non-residential development may be supported where uses directly support the day-to-day needs of the immediate residential community, do not detract from the residential amenity of the area, and do not undermine the viability of the nearby Commercial precinct.*
- iii. *Residential dwelling choices are provided in the zone including dual occupancy, multiple dwelling, and retirement housing. These are established in locations with appropriate access to infrastructure and facilities, where the design complements the existing town character, and where the density of development is generally consistent with the density achieved through existing residential development in the zone.*

Development response

The development is an accommodation use, albeit a temporary one. The proposal is consistent with the character of the zone, and will include measures to soften its appearance on the surrounding area. These include:

- Situating the vehicle access and car parking at the front of the lot, with frontage onto Helen Street;
- Locating all buildings and accommodation units further back from the more visible Samwell Street frontage, thus providing greater distances from established residences to minimise noise and visual impacts.

The development proposal complies with ALL Performance and Acceptable outcomes for the Township zone, as prescribed by the Croydon Shire Planning Scheme. The development response to each of these is provided in the table below:

Performance outcomes	Acceptable outcomes	Development response
PO1 <i>Buildings and structures are setback from front, side and rear boundaries generally consistent with:</i> - the intended form, function and character of development in the Township zone or precinct; - prevailing setbacks of existing development in the zone or precinct; and - amenity outcomes for adjoining development, streetscapes and public spaces.	AO1 <i>For all non-residential development, the following setbacks apply:</i> <i>Residential precinct and Township zone no precinct: buildings and structures have a minimum setback of 6m at the front and 2m from the side and rear boundaries.</i>	Complies- refer to site plan
PO2 <i>Buildings and structures for ancillary uses and activities such as sheds are subordinate in use and size to the primary use of the premises.</i>	AO2 <i>Buildings and structures for ancillary uses and activities do not exceed 10% of the gross floor area of the primary use on the site.</i>	Complies- refer to site plan.
PO3 <i>Development is consistent with the existing built form in terms of size, design, siting and physical characteristics. The appearance and siting of buildings, other structures, car parking areas or signage is compatible with the local streetscape character, the style and design of nearby buildings, and is respectful and sympathetic to any heritage places</i>	AO3 <i>No Acceptable Outcome provided.</i>	The buildings will be consistent with the scale and appearance of this sector of Croydon, which includes a range of sparsely arranged buildings containing variety of uses. Samwell St terminates in an intersection with Helen St which is adjoins Croydon train station, close to this site. Th development will adjoin TAC's office and ranger base. The workers accommodation units are generally in keeping with the scale and appearance of this area, which is a combination of colour bond sheds, small dwellings and shipping containers.

PO4 Tourist accommodation in the form of a caravan park or motel is provided in locations where serviced with existing infrastructure, and where it: . (a) is complementary to the existing character of the area; (b) does not have an adverse impact on residential amenity; and (c) Contributes to the quality and diversity of accommodation experiences available within the area.	AO4 No Acceptable Outcome provided.	The proposed buildings are sensitively set back from the street frontage to minimise visual and noise impacts on surrounding residents. NA
PO5 Industrial land uses are protected from encroachment by incompatible land uses.	AO5 Sensitive land uses do not compromise the viability and operation of existing or future industrial development and are not located within close proximity to the Industrial precinct	NA
PO6 Where adjoining a residential use non-residential uses are located and designed to avoid impacts on existing levels of residential amenity including privacy, noise and lighting.	AO6 Non-residential uses are designed and oriented to avoid overlooking of habitable room windows or private outdoor recreation areas of any adjoining residential use. OR Screening or opaque windows are provided where any direct views are available.	NA
PO7 Non-residential uses are compatible with, and complementary to, adjoining residential uses and do not impact on residential amenity.	AO7.1 A non-residential use does not involve an Environmentally Relevant Activity. AO7.2 No adverse impacts occur from the development on adjoining residences with regards to noise, dust, vibration, light, odour and traffic generation.	NA The proposal is a for a residential use.

Residential precinct

PO12 <i>Dual Occupancy maintains a consistent scale, density and character that is complementary and compatible with the surrounding residential area and avoids impacts on the visual amenity of the streetscape.</i>	AO12 <i>No Acceptable Outcome provided.</i>	NA
PO13 <i>Multiple dwellings or retirement facilities are of a scale, density and character that is complementary and compatible with the surrounding residential area.</i>	AO13.1 <i>Multiple dwellings are located on lots with a minimum area of 1000m².</i> AO13.2 <i>The number of dwellings contained in a multiple dwelling and/or retirement facility does not exceed one unit per 200m².</i>	NA

6.3.1 General development code

The purpose of the code will be achieved through the following overall outcomes:

- (1) Development has a safe and efficient site layout*
- (2) Development does not detract from the Shire's streetscapes, is complementary to the scale of neighbouring uses, and contributes to the character of the locality*
- (3) Development conserves and protects local heritage places and items, Aboriginal cultural heritage, and safeguards archaeology and archaeological potential*
- (4) An appropriate level of servicing and infrastructure is provided to new development and it is connected to Council infrastructure where available*
- (5) The site layout protects the amenity of the area including residential, industrial and commercial uses, allows sufficient areas for parking, manoeuvring and landscaping on the site, and allows for safe and efficient access and egress*
- (6) Assets of the Council are protected*
- (7) Non-resident workforce accommodation is appropriately located to protect the amenity of the locality, is well serviced and designed, and is operated in a manner that will not detract from existing uses*
- (8) Development in a natural hazard area is avoided or mitigated to protect people and property and enhance the community's resilience to natural hazards*
- (9) Development is located to protect and enhance matters of national, state and local environmental significance, landscape values and ecological connectivity*
- (10) The stock route network is protected.*

Development response

The proposed development operates as a fully self-contained facility, ensuring no impact on Council infrastructure. All services will be removed upon cessation of use. These include:

1. Water Supply: Two onsite water storage tanks with integrated pumping systems will eliminate the need for a connection and demand on Council's water supply network.
2. Wastewater Management: Two separate certified, pre-engineered modular sewage treatment systems will be installed on a skid-mounted platforms. All wastewater management will comply with a Waste Water Management Plan (WWMMP) prepared by a qualified hydraulic engineer and submitted to Council as a condition of approval.

3. <u>Power supply</u>: Electricity will be supplied via a silenced diesel generator with backup capacity. 4. <u>Telecommunications</u> will operate through a portable Starlink satellite service. All service infrastructure will be strategically positioned to minimise visual impact, screened from street view and setback substantially from adjacent properties.

The development proposal complies with ALL Performance and most Acceptable outcomes for the General Development Code, as prescribed by the Croydon Shire Planning Scheme. The development response to each of these is provided in the table below:

Performance outcomes	Acceptable outcomes	Development response
Site layout		
PO1 <i>The size and bulk of new buildings associated with development:</i> a) maintains and enhances the intended local character of the location (zone and/or precinct) b) avoids over-development of the site; and c) results in development at a consistent scale, siting and intensity to nearby development.	AO1 <i>Total development on the site has a maximum site cover as follows:</i> • Township zone (where not in a precinct) - 50% • Township zone (Commercial precinct) - 85% • Township zone (Residential precinct) - 50% • Township zone (Industrial precinct) - 40% • Rural zone – no acceptable outcome prescribed.	Complies- refer to the site plan. The site layout provides ample space of open space, recreation areas, and landscaped buffers to ensure that local character and consistency of land use with the surrounding area. Buildings will take up no more than 600 square metres of the site, which represents less than 12% of the total development site area.
Building design and amenity		
PO2 <i>The height of development:</i> (a) maintains the overall low-rise scale and character of development in the Shire; (b) reflects the intended form, function and character of development in the respective zone or precinct; and c) integrates with existing surrounding development without introducing adverse amenity impacts	AO2 <i>The height of development does not exceed:</i> • Township zone (where not in a precinct) – 10m • Township zone (Commercial and Residential precincts) – two (2) storeys or 8.5m • Township zone (Industrial precinct) – 15m • Rural zone – no acceptable outcome provided	Complies- refer to the site plan. No structure on site will be more than single story, and all will be less than 8.5m high.

PO3 New buildings or structures present an articulated and traditional façade to the street featuring design elements that reduce the appearance of scale and bulk.	AO3 Except where in the Rural zone or Industrial precinct of the Township zone, at least three (3) of the six (6) elements below must be incorporated into the front façade of new buildings: • verandas or porches; • awnings and shade structures; • variations to the roof and building lines; • recesses and projections of the external facade; doors and window openings; or • a range of building materials, colours and textures matching or complementing those prevailing in neighbouring buildings	The proposal will include covered awnings for the portable units. The accommodation units will be regular in shape and size, but be sensitively located on the site, with spacings between each unit to optimise breeze ways and comfort for on-site residents. A shade structure will be provided as a recreational area for on-site residents. While this may only meet two of the six design elements listed in this acceptable outcome, it must be noted that this is a temporary use, set back from the street both Helen and Samwell Street frontages.
PO4 Where provided, outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO4 Light emanating from any source complies with Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting.	On site lighting will comply with the Australian standard. This can be included as a condition of approval.
PO5 Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.	AO5 Non-residential development is provided with a designated waste collection area that is: • located on a concrete slab; • located to the side or rear of the premises; • screened from public view.	NA The proposal is for a non-residential use.
PO6 Landscaping is provided to enhance the visual appeal of development and soften the appearance of the built form. The majority of landscaping is to be undertaken on the principal street frontage of the development.	AO6.2 Landscaping includes vegetation and is provided: • at the front of the development in the general Township zone and the Industrial precinct of the Township zone • at the front of the development in the Commercial precinct of the Township zone if the development has been set back from the front boundary.	NA As the proposal is set back from Samwell Street by a distance of over 60metres, and buildings will be set back from Helen Street by one whole residential lot, the development will not have a frontage onto a public, local road to landscape. The development footprint of buildings only has direct road frontage onto Edith Street which is an unconstructed road reserve with no vehicle or foot traffic.

PO7 The development has safe, legal and practical access to a public road.	AO7 The development is provided with: (a) direct access to a gazetted road reserve OR (b) access to a gazetted road via a formal access arrangement registered on the title.	Complies. The site will be accessed directly via Samwell Street, which is a dual carriage, sealed local road.
PO8 The proposed development accommodates sufficient car parking on site to meet the peak parking demand of the use at any point in time.	AO8 Car parking is provided at rates as per table 6.3.1.2 Non-resident workforce accommodation: 1 space per unit plus 1 visitor space per every 5 units.	Compliance with Table 6.3.1.2 would result in 44 Car parking spaces plus 9 visitor spaces, which is 53 in total. However, residents will not be driving to the site in their own cars. This is because the facility will entirely house a fly in/ fly out (FIFO) workforce which will fly in via Normanton/ Croydon airports, and be transported to the site via a fleet of four 12-seater buses. Therefore, 53 car parking spaces would be far surplus to user requirements in this instance. In light of this, the proponents request a dispensation from AO8, and propose to provide 20 off street car parking spaces for standard vehicles and four larger parking bays for the 3x 12-seater buses, which will be housed on site, resulting in 23 parking bays in total.
PO9 The proposed driveway and/or invert crossings is clear of all impediments.	AO9 All invert crossings and driveways are clear of street furniture, gully pits, man holes, power poles, street trees and bus stops by a minimum distance of 1m.	The frontage along Helen Street is clear of all street infrastructure and street trees, and there are no impediments to access.
PO10 The location of driveways does not create a danger to the safety and efficiency of existing intersections.	AO10.1 Driveway access is from the secondary lower order road were located on a corner allotment. AO10.2 The minimum distance of a driveway from an intersection of one street with another is 6m.	NA Complies. The site's entry from Helen Street is located 50m from the Helen Street/ Samwell Street intersection.
PO11 The design of access, parking and manoeuvring within the site:	AO11.1 Vehicle crossovers and driveways are designed in accordance with 'Far North Queensland Regional	AO11.1

(a) is adequate for the type and volume of traffic generated by the use; (b) does not adversely impact on the traffic network external to the site; (c) caters for safe pedestrian access; and (d) provides appropriate parking space/s and access for people with a disability.	<i>Organisation of Councils (FNQROC) Regional Development Manual'</i> AO11.2 <i>Disabled access is provided in accordance with the Disability (Access to Premises – Buildings) Standards 2010.</i> AO11.3 <i>Car parking and manoeuvring areas are designed in accordance with:</i> • AS2890.1 – Parking Facilities; and • Austroads AP-34/95 - Design Vehicles and Turning Path Templates.	A vehicle cross over will be provided from Helen Street to the site property boundary, in accordance with the FNQ ROC Development Manual. AO11.2 The site will be flat, single storey and easy to navigate for all levels of ability. While there is a step into units, a disability ramp can be provided if a resident requires it. AO11.3 Car parking and manoeuvring areas will comply with AS2890.1 & Austroads AP-34/95, as per the site plan.
PO12 The development is supplied with an appropriate level of infrastructure to service the intended use.	AO12 <i>Premises within the Township zone are connected to telecommunications and have electricity supply. OR In the Rural zone telecommunications and electricity supplies are provided and designed and installed to supplier standards.</i>	This proposal is for a temporary development, for a FIFO non-resident workforce engaged in the construction stage of a permanent workers camp and the mine site itself. Therefore, all infrastructure will be transportable and removed from site with the cessation of this use. The use will only be in-situ in this location until 2027. Therefore, the development will not rely on connections to local telecommunications and electricity supply. It will instead, rely on on-site, diesel-powered generators and Starlink for internet provision. This will ensure that the use does not put any additional strain on local infrastructure, including electricity and telecommunications networks.
PO13 All development has an adequate supply of potable water and can provide for appropriate treatment and disposal of effluent and other waste water.	AO13.1 <i>In the Township zone, all development is connected to Council's reticulated water supply network in accordance with 'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'. OR In the Rural zone, a potable water supply is provided</i>	This temporary use will be entirely self-reliant for its water supply. The development will include two 47,800 litre water tanks and pump to provide water to all units on site. The tanks have been located in the corner of the site, to enable servicing and refilling when necessary.

		One tank will be rural water supply, and one tank will be potable water supply. All tanks and associated infrastructure will be removed from site with the cessation of the use in 2027.
	AO13.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended).	This temporary use will be entirely self-reliant for its on-site effluent disposal. Wastewater will be managed through two portable treatment plants- one for black water and one for grey water. Product specifications are provided with this report, but the units will be provided by OZZI KLEEN, and be skid mounted for portability, and will be subject to a Waste Water Management Plan prepared by a suitably qualified engineer, who will ensure compliance with all relevant environmental health regulations. The site plan also includes a spray area over an area of remnant scrub on Lot 170 MPH15920. This land is also owned by TAC. Wastewater from these units is at potable water standards by the time it is processed released.
PO14 <i>Stormwater is collected and discharged to ensure no impacts on adjoining land owners, Council or State infrastructure, while also ensuring environmental values of waters in the Shire are maintained.</i>	AO14 <i>Stormwater drainage is provided in accordance with 'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'.</i>	The site plan includes two absorption areas to provide for stormwater drainage. These areas of open ground are provided to ensure that there are adequate permeable areas to absorb increased run off from the new hard surface created by the building footprints on site.
PO15 <i>Development does not adversely impact on Council infrastructure.</i>	AO15 <i>All proposed structures and buildings are clear of any Council easements and underground infrastructure located within the site boundaries.</i>	NA The proposed development site does not involve any easements of Council underground infrastructure.

PO16 Private aviation facilities do not have an adverse impact on surrounding uses and are operated to minimise any unforeseen safety risk.	Note: Specific requirements are provided in the Queensland Development Code (QDC) MP1.4 Building over or near relevant infrastructure.	
PO17 Development adjoining or near the stock route network (SPP mapping – Economic Growth, Agriculture, Stock Route Network) does not adversely impact on the size, operational efficiency and safety of any stock route or reserve in the Shire.	AO16 Non-medical helicopter landing pads within the Township zone are operational during daylight hours only. AO17 Non-rural or residential activities are sited clear of the 800m designated pasture rights area, located either side of an unsurveyed road /stock route and any new access points across the stock route are limited to one (1) access per lot frontage of 200m.	NA NA
PO19 New development retains the character and amenity of the area, including minimising or avoiding adverse impacts from: - heavy vehicle or traffic generation on residential roads; - reduction in visual amenity by way of layout of the premises and inappropriate presentation to the street; and - emissions such as air pollutants, noise, stormwater run-off or other pollutants.	NA	The building footprint has been sensitively sited to minimise adverse impacts on the surrounding area, and maintain the character of Samwell Street. The site will be accessed by trucks in the construction stage, which will be minimal due to the temporary nature of all infrastructure and buildings on site. Thereafter, the site will be accessed daily by three 12-seater buses transporting workers to and from the site. These vehicles will be stored on-site overnight.
PO20 Wastewater discharge to a waterway is avoided or managed in a way that maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health.	AO20 Wastewater from development is not discharged to a waterway. OR Where wastewater discharge to a waterway is unavoidable, a Wastewater Management Plan (WWMP) is submitted and implemented which:	The on-site effluent disposal arrangements will be subject to a Hydraulic engineering assessment and recommendations, to ensure compliance with all relevant environmental health standards. Jubilee is in the process of appointing a suitably qualified person to complete this assessment & Wastewater Management Plan (WWMP). The

	• provides a waste management hierarchy that minimises wastewater discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater; and • is prepared by a suitably qualified person and addresses: a) wastewater type; b) climatic conditions; c) water quality objectives (WQOs); and d) best-practice environmental management	report and findings will not be available to support the development assessment, however the proponent requests that the receipt of a WWMP be conditioned within the decision notice for development approval. The proponent must comply with those WWM specifications, and development will not commence on site until this condition has been satisfied. The proposed development site does not include any waterways, seasonal creeks or drainage courses, so wastewater will not be discharged into a waterway on or adjoining the site.
PO21 Development: (a) identifies matters of state environmental significance as identified in SPP mapping – Environment and Heritage, Biodiversity; (b) facilitates the protection and enhancement of matters of state environmental significance; and (c) protects and enhances ecological connectivity. Note: Where it is demonstrated that adverse impacts cannot be avoided or minimised, significant residual impacts on matters of state environmental significance may require an offset in accordance with the Environmental Offsets Act 2014.	AO21 Buildings, ancillary structures and all other development are constructed: • at least 100m from the top bank of all water courses and the full supply level of storages; and • a minimum of 100m from areas identified as Matters of State Environmental Significance (MSES) in SPP mapping – Environment and Heritage, Biodiversity.	NA

The General Development Code provides the following specific code provisions for Non-resident workforce accommodation (NRWA). The proposal complies with all of the Acceptable outcomes & meets the Performance Outcomes, as explained in the Table below.

Non-resident workforce accommodation (NRWA)		
Performance outcomes	Acceptable outcomes	Development response
P037 <i>The location of NRWA does not adversely affect existing industrial, residential and commercial uses, and maintains the amenity of the locality.</i>	AO37 <i>All buildings are set back: (a) a minimum of 15m from all side boundaries; and (b) a minimum of 25m from the front and rear boundaries.</i>	The buildings will be located approximately 80m from the site frontage on Samwell Street frontage, 50m from the Helen Street frontage, and approximately 10m from the rear boundary. This is 5m less than the acceptable outcome, however the eastern side boundary is adjoined by the Edith Street road reserve with a 30m width which is vacant land. Therefore, buildings are set back by 40m from lots on the other side of the Edith Street road reserve. Therefore, it is considered that the development will comfortably meet these set back distances, if the Edith Street width is included.
P038 <i>The location of the NRWA: (a) enables convenient access to services and facilities in the town where the use is able to support the economic development of the town; and (b) supports the long-term development of infrastructure in the Shire.</i>	AO38 <i>The NRWA is located within the Township zone.</i>	Complies. The proposed development site is located within the Township zone.
P039 <i>The layout of NRWA buildings does not substantially detract from the character of the area through overdevelopment of the site.</i>	AO39 <i>Buildings and ancillary facilities occupy no more than 25% of the site area.</i>	Complies. The buildings occupy 12% of the total site area.
P040 <i>The NRWA is connected to infrastructure required for the use including: water supply, waste water disposal, stormwater control, telecommunications and electricity. (Where Council infrastructure is available, this is required in lieu of onsite infrastructure.)</i>	AO40 <i>No Acceptable outcome provided.</i>	As per the explanations above, the temporary camp will provide its own on-site water supply, waste water disposal, stormwater control, telecommunications and electricity. The product specifications for all of these systems have been provided to support this application.
P039	AO39 <i>No Acceptable outcome provided.</i>	The site will be set back from Samwell St frontage by a depth of three whole residential lots. The frontage to the

<i>NRWA buildings and waste disposal areas are screened and landscaped from site boundaries.</i>		Edith St road reserve will not be landscaped, as this is an unconstructed road reserve which is rarely used by members of the public or vehicle traffic. Bin storage will be provided by the access way from Helen Street.
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OVERLAYS

This proposal does fall within any Overlay mapping.

STATE ASSESSMENT REFERRAL AGENCIES

This proposal does not trigger referral to any State Assessment Referral Agencies.

CONCLUSION

The site comprises vacant, unconstrained land strategically positioned behind the existing Tagalaka Aboriginal Corporation (TAC) office and ranger base. It is well located to connect with Council's local road network.

This development will deliver essential workforce accommodation infrastructure for Jubilee Metal Ltd.'s Croydon Gold mine operations. The facility represents a significant catalyst for:

- Local employment generation
- Township growth and revitalisation
- Shire-wide Regional economic development

The project is critical to TAC's expansion capacity and provides tangible opportunities for community advancement.

The proposal fully complies with the Township zone (residential precinct) provisions, including:

- Stated zone purpose and overall outcomes
- All relevant Performance and Acceptable Outcomes

Importantly, the development maintains compatibility with surrounding land uses and preserves amenity for adjoining properties.

In light of this strategic location, substantial community & economic benefits, and compliance with almost all relevant code provisions, Council's favourable consideration of this application is respectfully requested.

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Jubilee Metals Ltd
Contact name (only applicable for companies)	Sarah Rizvi
Postal address (P.O. Box or street address)	PO Box 805
Suburb	Kuranda
State	QLD
Postcode	4881
Country	Australia
Contact number	0439 659 866
Email address (non-mandatory)	sarah.e.rizvi@gmail.com
Mobile number (non-mandatory)	As above
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

1.1) Home-based business

☐ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application
☐ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			28-32 Helen Street	Croydon Qld 4871
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4871	Lot 12	MPH15920	Croydon
	4871	Lot 170	MPH15915	Croydon
	4871	Lot 1	MPH 22204	
b)	Unit No.	Street No.	Street Name and Type	Suburb
			Vacant land between Helen St & Edith St	Croydon Qld 4871
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4871	Lots 159-161	MPH 15915	Croydon

☒ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
142.23995958010545	-18.20371589192109	☒ WGS84 ☐ GDA94 ☐ Other:	Croydon Shire

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
☐ On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
☐ In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable)	

☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Temporary non-resident workforce accommodation (portable 44-person facility with associated infrastructure)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	☐ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☐ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Portable 44-person facility with associated infrastructure.	Non-resident workforce accommodation		

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10)	☐ Dividing land into parts by agreement (complete 11)
☐ Boundary realignment (complete 12)	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
☐ Yes – provide additional details below ☐ No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
☐ Road work ☐ Drainage work ☐ Landscaping ☐ Other – please specify:	☐ Stormwater ☐ Earthworks ☐ Signage ☐ Water infrastructure ☐ Sewage infrastructure ☐ Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
☐ Yes – specify number of new lots:	
☐ No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

☐ SEQ northern inter-urban break – community activity ☐ SEQ northern inter-urban break – indoor recreation ☐ SEQ northern inter-urban break – urban activity ☐ SEQ northern inter-urban break – combined use ☐ Tidal works or works in a coastal management district ☐ Reconfiguring a lot in a coastal management district or for a canal ☐ Erosion prone area in a coastal management district ☐ Urban design ☐ Water-related development – taking or interfering with water ☐ Water-related development – removing quarry material (<i>from a watercourse or lake</i>) ☐ Water-related development – referable dams ☐ Water-related development – levees (<i>category 3 levees only</i>) ☐ Wetland protection area
Matters requiring referral to the local government: ☐ Airport land ☐ Environmentally relevant activities (ERA) (<i>only if the ERA has been devolved to local government</i>) ☐ Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: ☐ Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual ☐ Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: ☐ Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: ☐ Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) ☐ Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: ☐ Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority: ☐ Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority: ☐ Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service: ☐ Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
☐ Yes – referral response(s) received and listed below are attached to this development application ☐ No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval ☐ Development application			
☐ Approval ☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the Water Act 2000?**

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the Coastal Protection and Management Act 1995?**

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	Place ID:
-----------------------------	-----------

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

OWNER'S CONSENT FORM

Development Application pursuant to the Planning Act 2016

Property Details

Property Address: Vacant land between Helen & Edith Street, Croydon Qld 4871

Real Property Description: Lot 12 MPH15920, Lot 170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915& Lot 161 MPH15915 & Lot 1 MPH22204

Local Government Area: Croydon Shire Council

Development Details

Type of Development: Material change of use- Temporary Non-resident workforce accommodation

Applicant Name: Sarah Rizvi (planning consultant) on behalf of Jubilee Metals Ltd (client)

Applicant Address: PO Box 805 Kuranda QLD 4881

Owner Details

Owner Name(s): Tagalaka Aboriginal Corporation RNTBC

Owner Address: 87 Samwell St Croydon Qld 4871

Contact Phone: (07) 4745 6000

Email: admin@tagalaka.com

Declaration and Consent

I declare that I am authorised to represent are the registered owner(s) of the above property as shown on the current Certificate of Title.

I consent to the lodgement of this development application for Material change of use- Temporary Non-resident workforce accommodation on Lot 12 MPH15920, Lot 170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915& Lot 161 MPH15915 & Lot 1 MPH22204

I acknowledge that Tagalaka Aboriginal Corporation RNTBC are responsible for ensuring compliance with any development approval granted for this application.

I understand that this consent remains valid for the duration of the development application process.

Signature:



Edmond Busch

Caring for Country Director, Tagalaka Aboriginal Corporation RNTBC

13 November 2025

Tagalaka Aboriginal Coporation

Workers accommodation

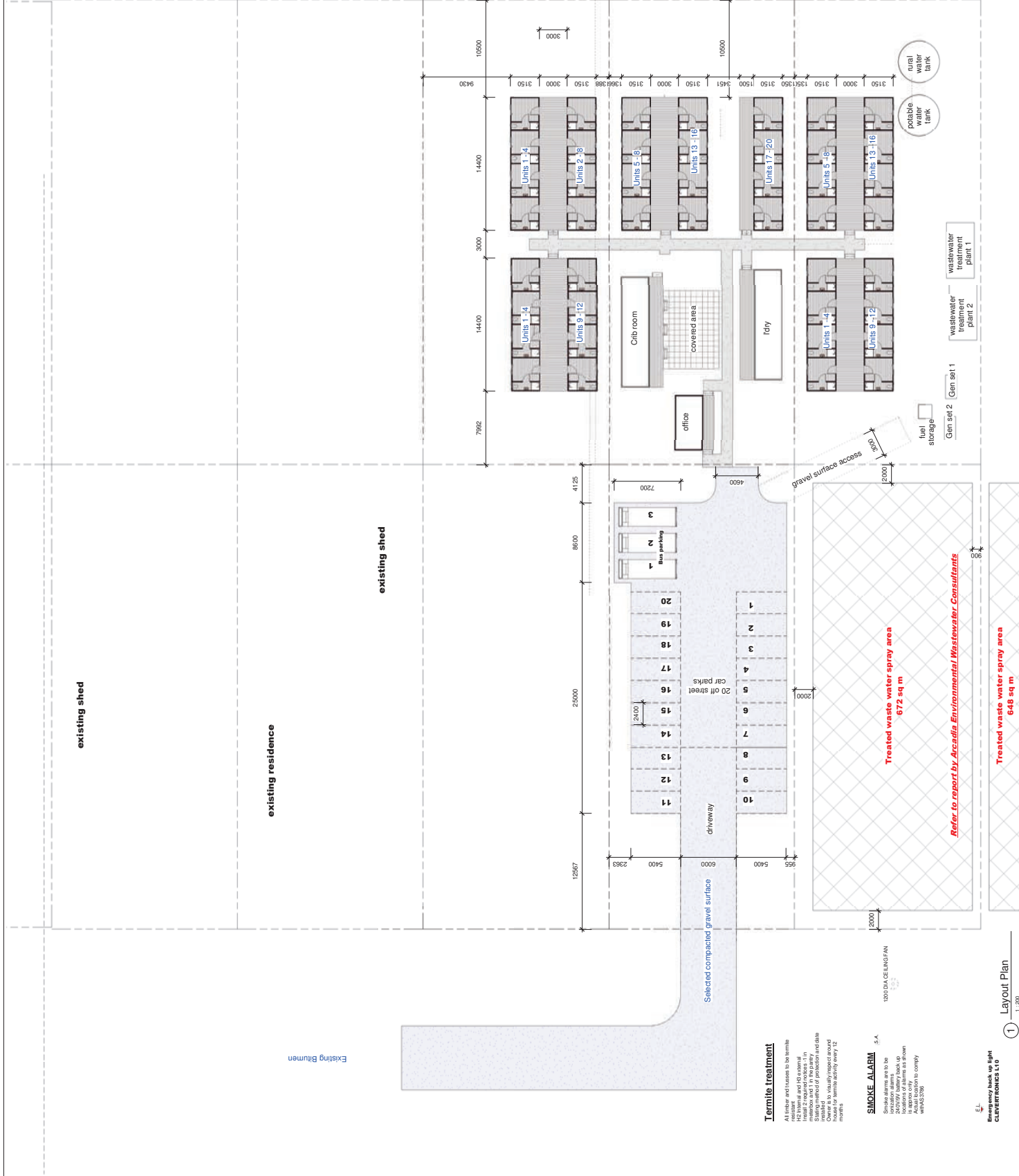
Helen Street
Croydon

No.	Description	Date
A -	DA Issue	14 11 2025
B -	DA Issue - Wastewater Irrigation	14 11 2025
	area amended	14 11 2025

Project number	M25 - 5082
Date	November 2025
Drawn by	Max Slade
	11/12/2025 4:13:02 PM
Scale	1 : 200

LAYOUT PLAN

A102



Sarah Rizvi, Planning consultant
on behalf of Jubilee Metals Ltd
Level 6, 10 Market Street, Brisbane QLD 4000
Postal: GPO Box 2676 Brisbane QLD 4001

11 December 2025

Jacqui Cresswell, Chief Executive Officer
Croydon Shire Council
63 Samwell Street Croydon QLD 4871
PO Box 17 Croydon QLD 4871

Dear Ms Cresswell,

**RE: ADDENDUM to Material Change of Use proposal (non-resident workforce accommodation)
located on vacant land between Helen Street and Edith St, Croydon QLD 4871 (Lot 12 MPH15920, Lot
170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915, Lot 161 MPH15915 & Lot 1 MPH 22204).**

This document is an addendum to the development application and planning report which was
submitted to Council on 17 November 2025.

Further information & detail is provided in this submission which addresses the following aspects of
the development proposal:

1. Noise impacts from the generator;
2. Water supply & storage;
3. Waste water management system;
4. Setbacks from waterway;
5. ERA referral thresholds.
6. Proposed buildings as viewed from the street.

Technical drawings and a report to support this addendum have been provided to Council, as well as
drawings of the accommodation units themselves.

I trust that further information will assist Council in assessing the development proposal, towards a
decision.

Yours sincerely,



Sarah Rizvi- Planning consultant
On behalf of Jubilee Metals Ltd- Proponent

PLANNING REPORT: ADDENDUM

Applicant:	Jubilee Metals Ltd
Project name:	Croydon gold mine temporary workforce accommodation
Development type:	Material Change of Use (MCU)
Use definition:	Non-resident workforce accommodation
Lot on Plan:	Lot 12 MPH15920, Lot 170 MPH15915, Lot 159 MPH15915, Lot 160 MPH15915, Lot 1 MPH 22204 & Lot 161 MPH15915
Street address:	Vacant land between Helen Street and Edith St, Croydon
Tenure:	Freehold
Zone:	Township Zone (Residential precinct)
Level of assessment:	Code assessable
Assessment benchmarks:	Township zone code & General development code

1. Noise Impacts from the generator

A 50Hz Diesel-powered generator manufactured by Cummins Inc will provide a self-reliant electricity supply on site to support the temporary workforce. All major components of Cummins generator sets - the engine, alternator, and controls - are manufactured, tested, and serviced by Cummins. This integrated approach ensures every solution is:

- **Reliable:** designed for upmost dependability
- **Compact:** the right power, the right size, without compromise.
- **Technologically Advanced:** engineered with sustainability and low emissions in mind.

This system will be independent of the reticulated mains electricity network on Croydon, thus creating no draw or strain on existing infrastructure. This system includes a 450litre base tank providing almost 15 hours of run time at 75 Load. This technology includes the following specifications:

- Genuine Heavy-Duty Diesel Engine
- Isochronous Electronic Engine Governor
- Genuine PCC Digital Generator control with Engine & Alternator Protection
- Digital AC Output Metering, Alarm and Status Display, displaying status of all critical engine and alternator generator set functions.
- RS 485 Modbus High Level Interface
- Genuine Generator Technologies 4Pole Alternator
- Generator mounted 4 pole main circuit breaker.
- Heavy Duty Set Mounted 50 Deg C Ambient Engine Cooling System.
- 450 Litre usable fuel, double skin base fuel tank includes internal spill containment for all fluids within acoustic enclosure and a level switch monitoring low fuel level.
- Factory designed and manufactured weatherproof acoustic enclosure rated 80dBA@1 Metre Free Field @100 Load.
- Engine exhaust system mounted within acoustic enclosure rated 80dBA @ 1 Metre Free Field @ 100 Load.
- Heavy duty Integral Rubber Anti-Vibration Mounts.
- Lead Acid Starting Battery.

- Premium Blue Engine Lubricant.
- PGXL long life Engine Coolant.
- Battery Charger.
- Engine Coolant Heater.

The packaged Generator is a prototype tested / proven piece of equipment; factory tested to manufacturer's recommendations with all supplied components as per provided factory test certificate.

Technical drawings and Sound data for this product is provided to support the application. The following table illustrates the decibel limits of this system from 7metres.

A-weighted Sound Pressure Level @ 7 meters, dB(A)											
See notes 2, 5 and 7-11 listed below											
Configuration	Exhaust	Applied Load	Position (Note 2)								8 Position Average
			1	2	3	4	5	6	7	8	
Enclosed (50°C Cooling Package)	Mounted Muffler	0% Prime	63.2	63.8	63.7	65.2	65.6	67.1	65.0	63.8	64.9
		25% Prime	64.1	64.5	65.1	66.4	66.4	68.6	66.6	65.1	66.1
		50% Prime	63.6	64.8	65.0	66.2	66.9	67.7	65.7	64.6	65.7
		75% Prime	64.7	65.6	65.7	66.2	67.5	68.0	66.5	65.5	66.3
		100% Prime	65.6	66.9	66.8	69.1	68.8	69.5	67.9	66.8	67.9
		100% Standby	66.2	67.5	67.6	70.3	69.2	70.8	69.0	68.1	68.8

The closest sensitive receptor/ affected building is a dwelling located on Helen Street, which adjoins the Tagalaka Aboriginal Corporation office. (Note: An Affected building for noise, means a building at which the noise from the use can be heard). This affected building is approximately 50 metres from the placement of the generator, as per the map below. Therefore, the decibel levels in this table are likely to be less audible from this location, by a factor of about seven.

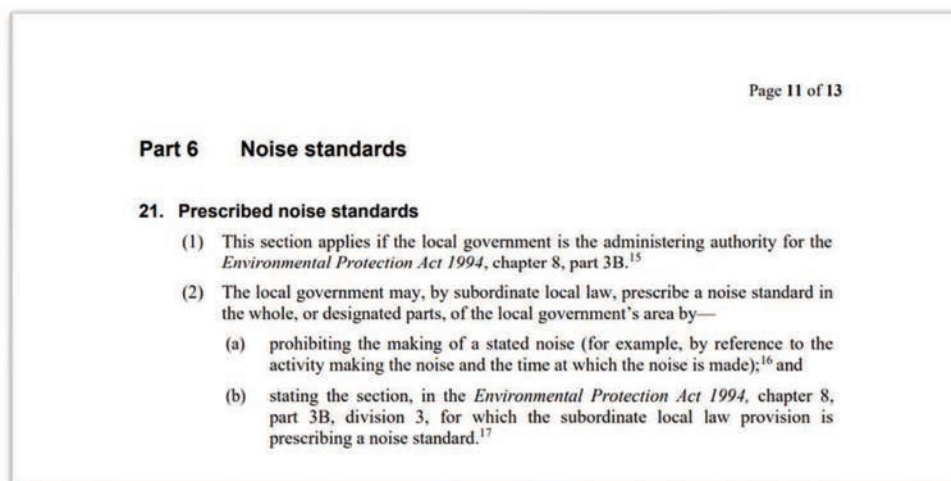


Figure 1: Distance from proposed location of the generators and closest affected building.

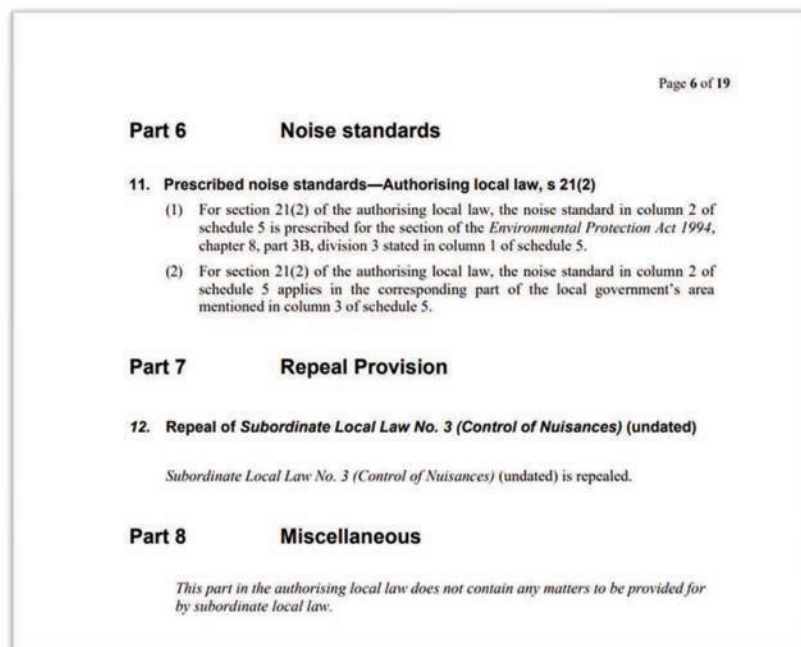
The next closest building is located on Sircom Street, a distance of approximately 100m from the generator. This building is a non-residential use.

Noise impacts from development and uses in Croydon Shire are regulated by Model Local Law No. 3 (Community & Environmental Management) 2023 and Subordinate Local Law No 3 (Community & Environmental Management) 2023, which in turn derives its statutory authority from the Environmental Protection Act (1994) Qld.

The relevant sections of the local laws are provided below:



Source: Model Local Law (Community & Environmental Management), Croydon Shire Council



Source: Subordinate Local Law (Community & Environmental Management), Croydon Shire Council

A generator is classed as a Regulated device for the purposes of these laws. The Environmental Protection Act (1994) Qld, stipulates:

A person must not operate a regulated device in a way that makes an audible noise—

(a) on a business day or Saturday, before 7.00a.m. or after 7.00p.m; or

(b) on any other day, before 8.00a.m. or after 7.00p.m.

In other words, after hours, the generator must not be audible from the “affected building” (neighbouring house) on Helen Street under the default noise standard.

As the system includes battery storage, it will be possible to generate power for 12 hours from 7am to 7pm and store the power in a battery, which will be drawn down from 7pm to 7am. Furthermore, the noise of the generator in active use is mitigated by the technical design of the system, and the distance from affected buildings located on Helen Street.

2. Water supply & storage

The use proposes to cart raw water from our site to the camp location store the raw water for in poly 50,000lt tanks and treat the water with similar equipment to the below image. Once the water is tested and cleared for use this water will be pumped into the camp treated water storage poly tanks.

Containerised Reverse Osmosis plant units feature:

- ISO high cube containers upgraded with sandwich panel insulation and split system air-conditioners;
- All stainless-steel frames and wetted parts
- Quality label components such as Berkert, Lowara, Grundfos and Georg Fischer
- Local design and assembly to exceed Australian Standards
- Innovative design that offers flexible optional extras while maintaining ease of service.
- The image below illustrates the appearance of these tanks and filtration system.



Figure 2: Indicative view of water tanks and filtration unit.



Figure 3: Interior of Reverse Osmosis system.

3. Waste water management

Arcadia Environmental Wastewater Consultants Pty Ltd has been commissioned by Jubilee Metal's plumbing contractor, MDB Plumbing and Gas Fitting Pty Ltd, to design an effluent disposal system for the proposed development site. Their report has been prepared in accordance with AS/NZS 1547:2012 *On-site Domestic Wastewater Management* and the *Queensland Plumbing and Wastewater Code 2024*, and is submitted to Council in support of the development application.

Due to the temporary nature of the workers' camp, the proposed system has been designed to minimise excavation and subsequent rehabilitation requirements. The camp will traverse multiple unsewered lots within the township zone of Croydon, with no single lot having sufficient area to contain the required land application area (LAA). To address this constraint, a paired system configuration is proposed, ensuring that:

- No individual lot exceeds the 4,200 L/day limit under a single permit
- The modular systems can be relocated and reused when the camp moves to a new location.

All fixtures will be connected to onsite wastewater treatment via an Advanced Secondary Sewage Treatment Plant (STP). The system components include:

- **Treatment Units:** Above-ground Advanced Secondary STPs
- **Pumping Station:** 3,000 L dual alternating grinder pump station (buried as required)
- **Disposal Method:** Fixed surface spray irrigation onto vegetated maintained areas

To minimise ground disturbance and rehabilitation requirements, the irrigation field will utilise a surface-laid sillage hose to wobbler-sled array configuration, comprising:

- Surface spray irrigation via fixed low-droplet sprinklers on stands
- 6 indexed spray lines, each with 13 wobbler sprinklers at 2.0 m plume radii
- 0.66 m perimeter soakage per wobbler
- Total minimum LAA of 652 m²
- Surface-laid 25 mm sillage hose indexed lines, extending from a 6-port indexing valve
- Turf pegs to anchor hoses and wobbler sleds/stands (non-movable configuration)
- 3.31m diameter/wobbler - Total min. LAA = 652 m²

The installer may adjust the layout to accommodate site obstacles as required. Please refer to the associated report for full technical detail and specifications.

A hydraulic engineering company has been engaged to develop a Waste Water Management Plan (WWMP) to support the development application.

Setbacks from waterway

The effluent disposal system has been strategically positioned to ensure environmental safeguards and protection measures, through appropriate setbacks from areas where waste water will be released and a water way which traverse the adjoining lot, beyond the Edith Street Road reserve. This includes:

- **Property Boundary Setback:** The treatment units are located approximately 50m from the property boundary *Lots 113-114 MPH14206* which adjoins the Edith Street Road reserve (see Figure 4)
- **Spray Field Setback:** Spray irrigation fields is positioned 80m from the same boundary (See Figure 5) & 100m setback from the creek itself (See Figure 6).



Figure 4: Waste water treatment units set back from Lots 113-114 MPH14206 property boundary.



Figure 5: Spray field set back from property boundary with Lots 113-114 MPH14206



Figure 5: Spray field set back from nearby water course on adjoining block.

The site topography naturally falls toward Helen Street and away from the creek located to the east of the proposed site, providing inherent protection to the adjacent waterway as any treated waste water released on site will drain in the opposite direction.

All wastewater will be treated to potable standard by the Advanced Secondary STP prior to discharge. The treated effluent will be applied to the land application area as irrigation water and be absorbed into the land, ensuring:

- Minimal environmental impact through high-level treatment of waste water to potable standards.
- Beneficial reuse of treated water for vegetation maintenance
- No discharge to waterways or stormwater drainage systems

The natural site drainage patterns, combined with the high-quality effluent output and strategic positioning of the spray field, provide multiple layers of protection for the waterway on the adjoining lot.

These measures will be further detailed in a Waste Water Management Plan which will be prepared by a suitably qualified Hydraulic engineer. The proponents have requested that the provision & approval of this Plan, and compliance with measures it includes, be required as a condition of development approval.

These measures relate to the following code provisions of the Croydon Shire Planning Scheme's General Development Code:

Wastewater		
PO20 Wastewater discharge to a waterway is avoided or managed in a way that maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health.	AO20 Wastewater from development is not discharged to a waterway. OR Where wastewater discharge to a waterway is unavoidable, a Wastewater Management Plan (WWMP) is submitted and implemented which: provides a waste management hierarchy that minimises wastewater discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater; and is prepared by a suitably qualified person and addresses: a) wastewater type; b) climatic conditions; c) water quality objectives (WQOs); and d) best-practice environmental management.	Development response Wastewater from development will not be discharged to a waterway, but treated on site and sprayed across a field, where it will be absorbed into the soil. On-site effluent disposal systems will undergo hydraulic engineering assessment to ensure compliance with all environmental health regulations. Jubilee is appointing a qualified consultant to complete this assessment and Wastewater Management Plan (WWMP). As the report won't be available during development assessment, the proponent requests the WWMP be included as a development approval condition. Development cannot commence until this condition is satisfied and WWMP specifications are met.
Waterways		
PO31 Development does not result in adverse impacts on water quality, fish habitat and riparian vegetation so as to protect waterway and fisheries values.	AO31 No Acceptable outcome provided.	The proposed development site does not include any waterways, seasonal creeks or drainage courses, so wastewater will not be discharged into a waterway on or adjoining the site. However, there is a water way on adjoining Lots 113-114 MPH14206. However, on site effluent treatment systems have been carefully located to avoid any impact on this waterway. Waste water will be treated to potable standard, and absorbed onto the site. Any remaining

		surface water will drain in the opposite direction from the nearby creek.
--	--	---

Environmentally Relevant Activities (ERA) referral thresholds.

The scale and proposed resident population of the use approaches the threshold for state referral as an Environmentally Relevant Activity. However, the proponent is taking steps to avoid this referral threshold through two key measures:

1. Separation of treatment of black and grey waste water;
2. Splitting the load of the waste water in two separate waste water treatment units.

Preliminary advice is that these are legitimate means of remaining below ERA thresholds for a use of this scale. This will be further detailed through the Waste Water Management Plan, commissioned by a suitably qualified hydraulic engineer.

Buildings as viewed from the street

Buildings have been sensitively located with set backs from street frontages, to minimise visual impacts as viewed from the street. The following two, computer generated, images provide an indication of what the development will look like as viewed from both the Samwell Street and Helen Street frontages.

Technical drawings of the units themselves have been provided to Council with this Addendum.



Figure 4: Samwell Street perspective

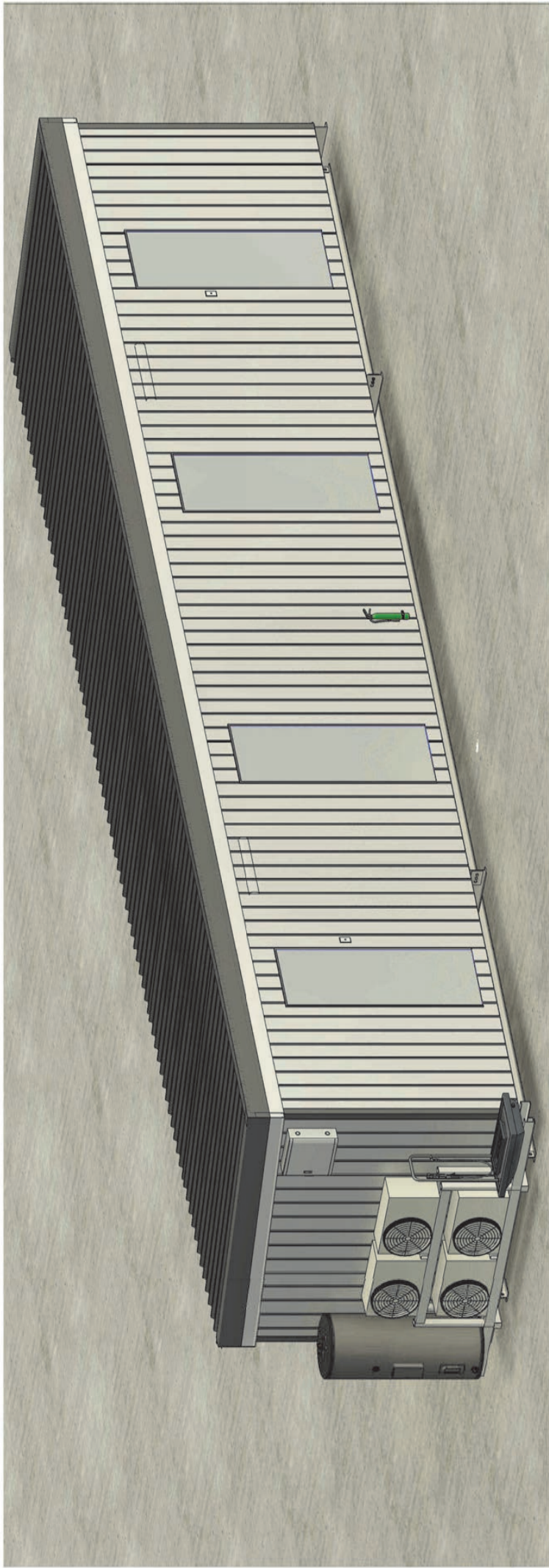


Figure 5: Helen Street perspective

Conclusion

This camp will be a temporary use, however fulfils a critical role in facilitating development of the Croydon gold mine project and the Croydon Shire economy over the coming decade. Any impacts will be temporary; however, the value of the development will have a longer lasting strategic & beneficial impact on the wider economy of Croydon.

I hope this additional information will assist Council in coming to a favourable decision.

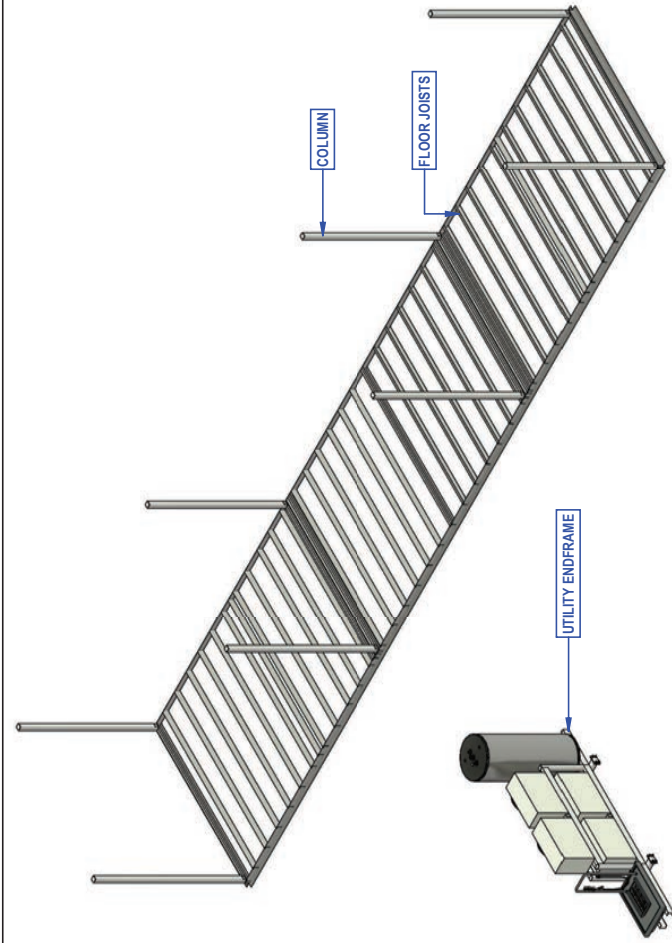


DRAWING LIST		
Sheet Number	Drawing Name	Current Revision
000	COVER SHEET	IFI-1.1
001	3D PRESENTATION	IFI-1.1
002	FLOOR COLUMN LAYOUT	IFI-1.1
100	FLOOR PLAN	IFI-1.1
101	FLOOR PLAN	IFI-1.1
102	ROOF PLAN	IFI-1.1
103	ELEVATIONS	IFI-1.1
104	ELEVATIONS	IFI-1.1
105	SECTION	IFI-1.1
106	SECTION	IFI-1.1
107	SECTION DETAILS	IFI-1.1
108	SECTION DETAILS	IFI-1.1

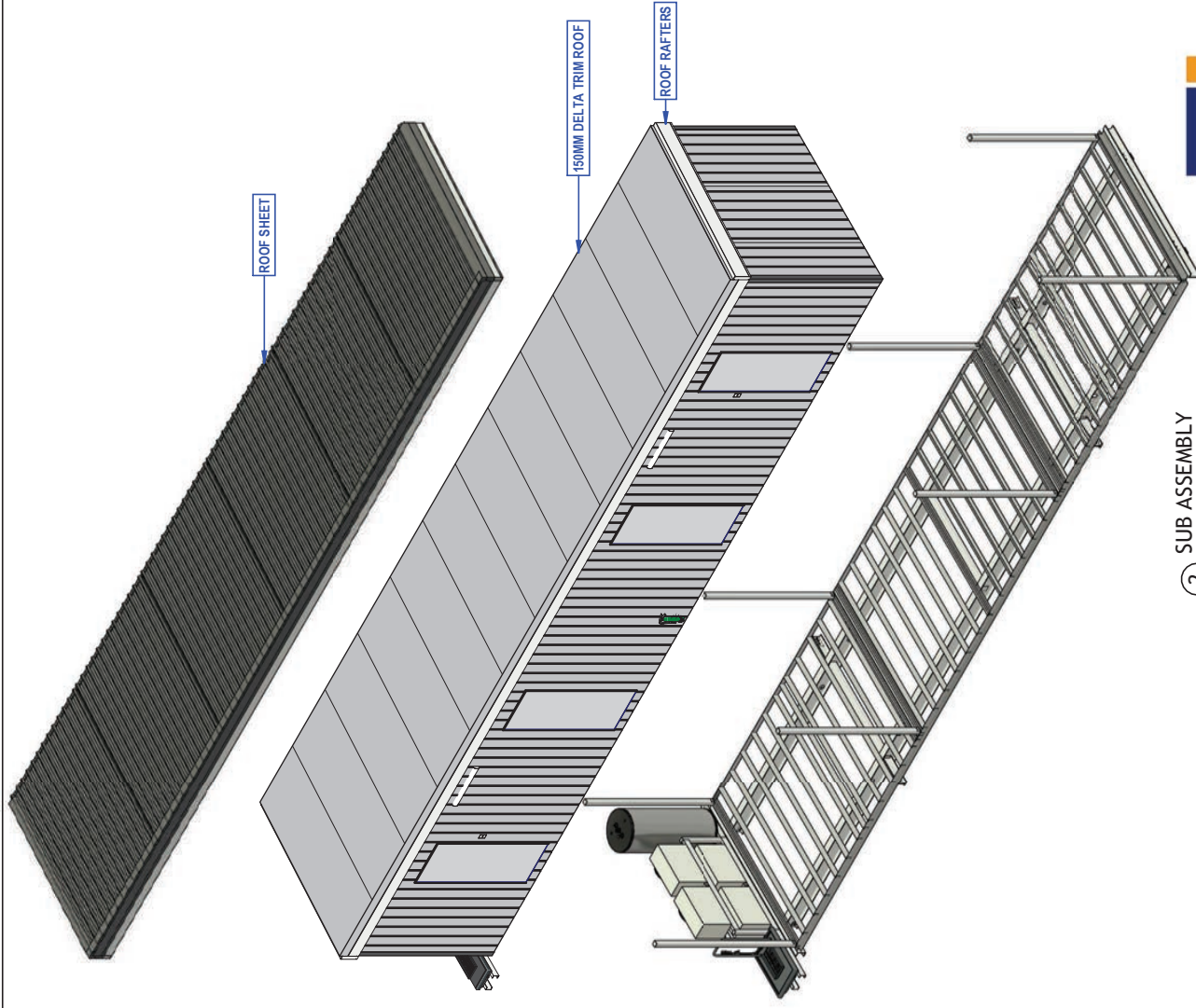
14.0x3.0m ACCOM STD UNIT

VIEWS INDICATIVE ONLY

4R ACCOM



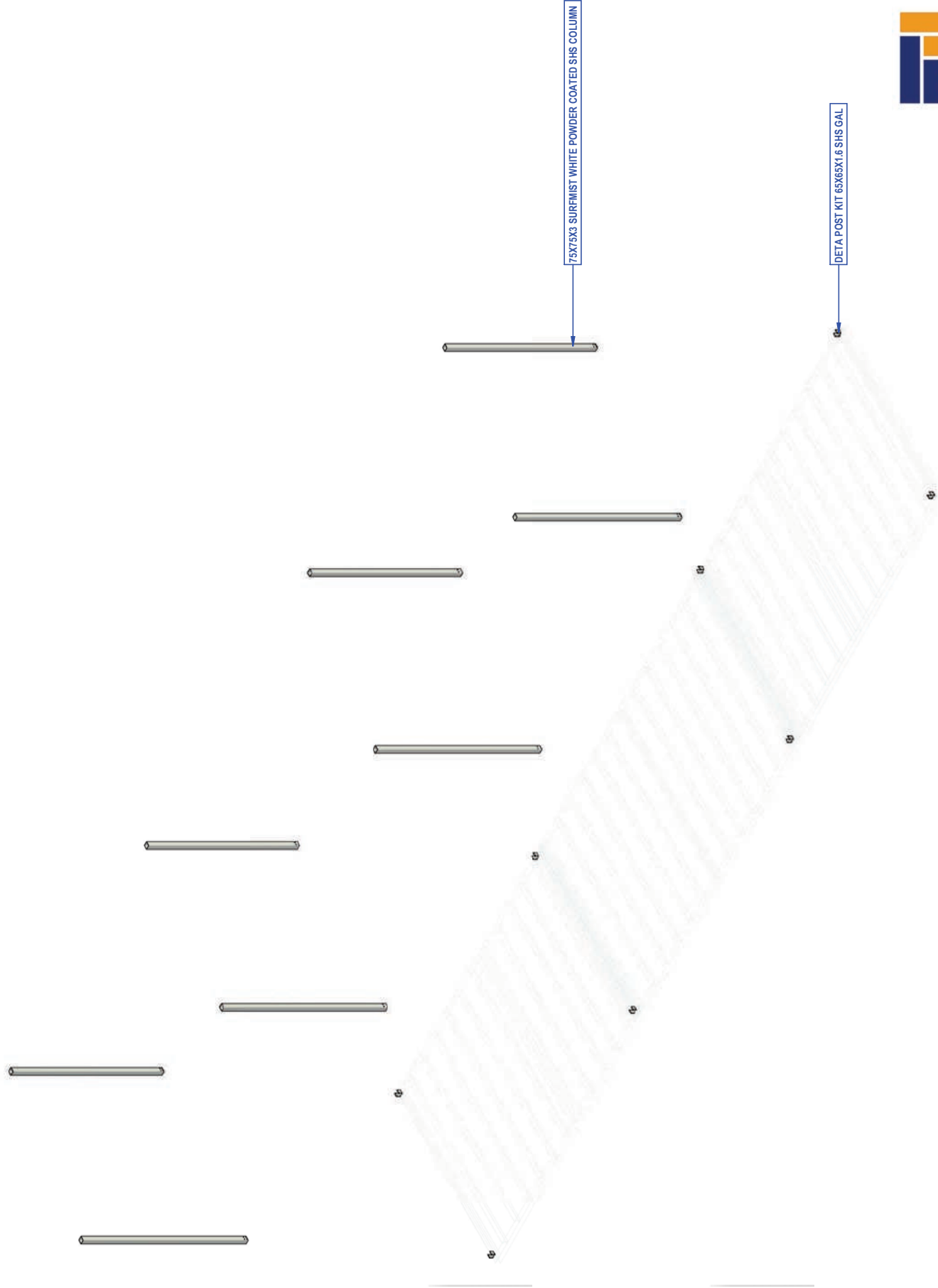
① EXPLODED ASSEMBLY



② SUB ASSEMBLY

14.0x3.0m ACCOM STD UNIT

4R ACCOM



14.0x3.0m ACCOM STD UNIT

4R ACCOM



A256 Horse & Jockey Road, Racecourse, Queensland

Phone: 07 5598 0000

Website: abodemodular.com.au

REVISIONS

NO	DESCRIPTION	DATE
1	IF1.1	08/26/2025

For Manufacturing (M)

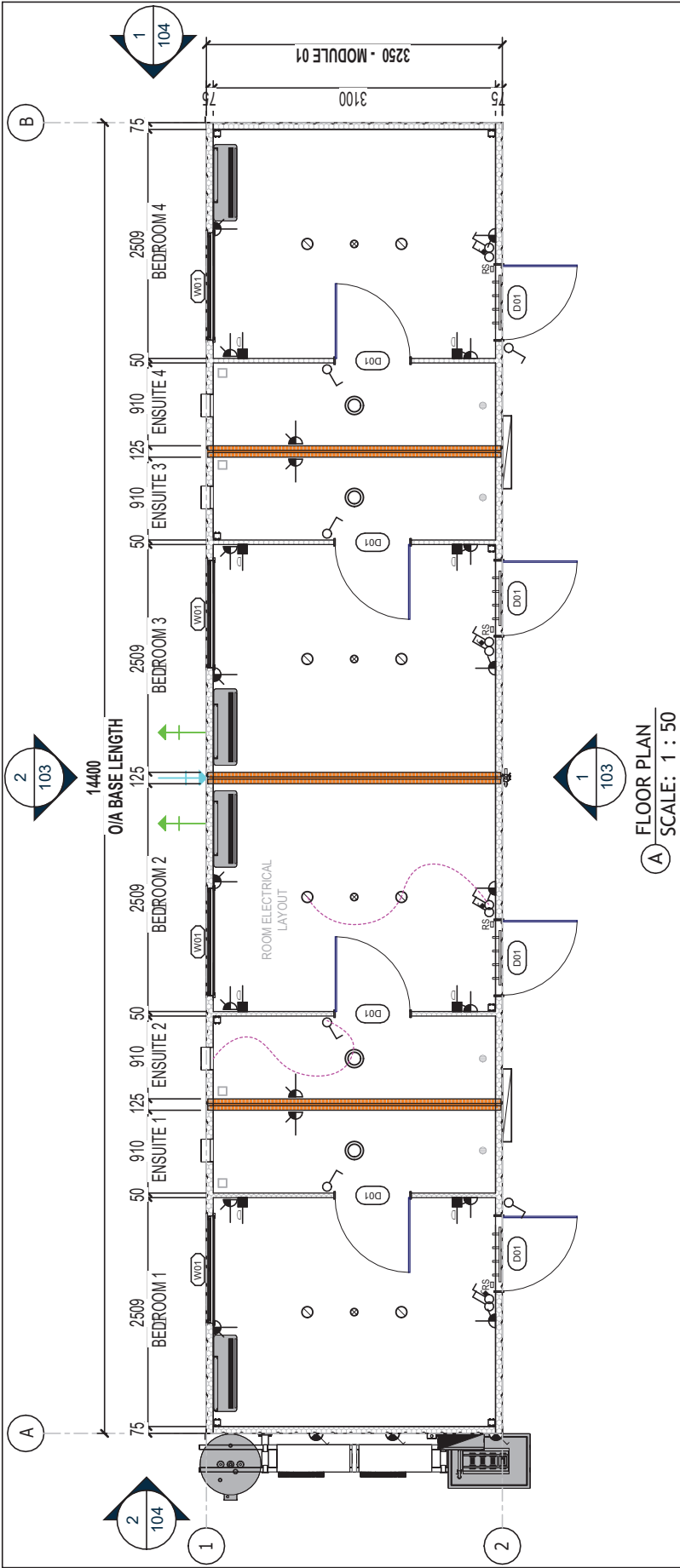
For Construction (C)

For As-Built (A)

Others

REFERENCE

DRAWING NO.	REV.	REMARK



SYMBOL SCHEDULE				
TAG	QTY	DESCRIPTION	TAG	QTY
	1	ELECTRICAL DISTRIBUTION SWITCHBOARD		1
	5	ISOLATION SWITCH / 1500		4
	1	INTELLIGENT SMOKE DETECTOR 240V		4
	1	RETICULATION BOX, SMOKE ALARM / 2000		2
	4	DOWN LIGHT - 7.5W PHILIPS SMART BRIGHT		1
	4	OYSTER LIGHT - 23W PIERLIGHT DOWNLIGHT ORION		VARIES
	1	100X1000 SINGLE EXTERIOR LIGHT 277V, WEATHERPROOF / 2100		VARIES
	5	DATA / TV ANTENNA SOCKET		VARIES
	2	SINGLE POWER POINT GENERAL PURPOSE OUTLET / 1200 TYP.		8
	4	DOUBLE POWER POINT GENERAL PURPOSE OUTLET / 1200 TYP.		4
	5	DOUBLE POWER POINT GENERAL PURPOSE OUTLET WITH USB A & C / 1200 TYP.		

CONSULTANTS:

ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
FIRE ENGINEERING	

CLIENT

ABODE MODULAR

PROJECT / PROJECT ADDRESS

14.0x3.0m ACCOM STD UNIT

4R ACCOM

LOCAL AUTHORITY

REGION C, TERRAIN 2, AUSTRALIA WIDE

DRAWING NAME

FLOOR PLAN

DRAWING DISCIPLINE

INFORMATION

PHASE

FOR REVIEW

DRAWN BY:	EKD	CHECKED BY:	INV	APPROVED BY:	AB
PROJECT CODE:	PN26	SCALE:	A5	SIZE:	A3
CONTROLLED CODE:	JN1539	DATE / MODIFIED:			
DRAWING NO.	100	REV	IF-1.1		

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REVISIONS		
NO	DESCRIPTION	DATE
1/1	IF1	08/26/2025

☒	For Information (IF)	For Manufacturing (MA)
☐	For Review (RV)	For Construction (FC)
☐	For Review (RV)	For Approval (PA)
☐	For Approval (PA)	Others
☐	For Review (RV)	

REFERENCE	DRAWING NO.	REV.	REMARK

CONSULTANTS:	
ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
FREE ENGINEERING	

CLIENT

ABODE MODULAR

PROJECT PROJECT ADDRESS:

14.0x3.0m ACCOM STD UNIT
4R ACCOM

LOCAL AUTHORITY:

REGON C, TERRAIN 2, AUSTRALIA WIDE

DRAWING NAME:

ROOF PLAN

DRAWING DISCIPLINE

INFORMATION

PHASE

FOR REVIEW

DRAWN BY:

EKD

CHECKED BY:

INV

APPROVED BY:

AB

PROJECT CODE:

PN26

SCALE:

1 : 50

SIZE:

A3

CONTROLLED CODE:

JNT539

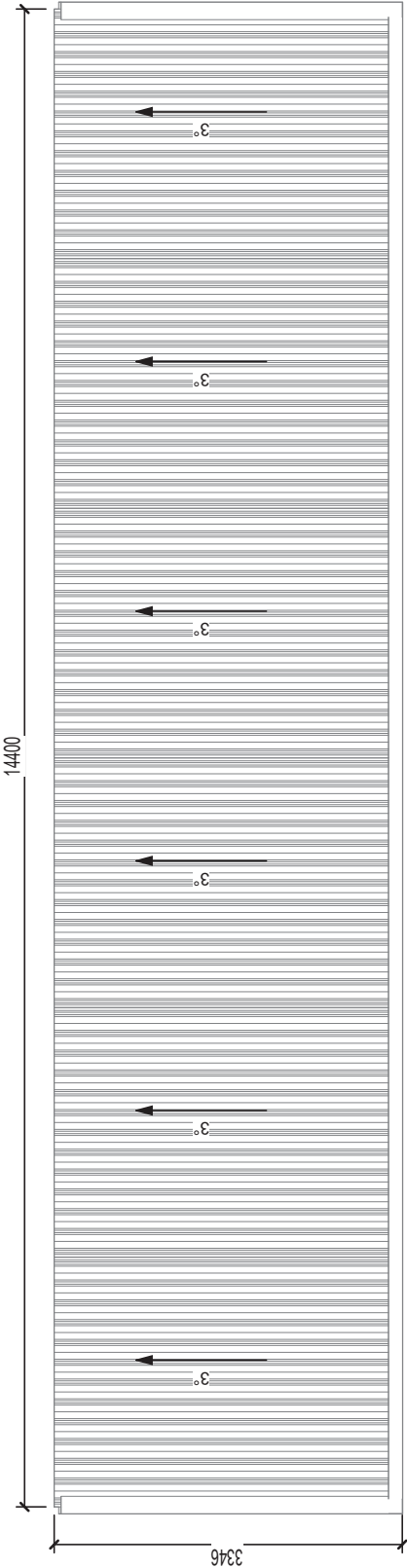
SUBMITAL BREAKDOWN:

DRAWING NO.

102

REV

IF-1.1



1 ROOF LAYOUT
SCALE: 1 : 50

[illegible]

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	For Review (FR)		For Construction (FC)
	For Resource Consent (RC)		For Aesthetics (FA)
	For Building Consent (BC)		Others
	For Tender (FT)		

REFERENCE		
DRAWING NO.	REV.	REMARK

CONSULTANTS:	
ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
PRE-ENGINEERING	

CLIENT: **ABODE MODULAR**

14.0x3.0m ACCOM STD UNIT
4R ACCOM

REGION C, TERRAIN 2. AUSTRALIA WIDE

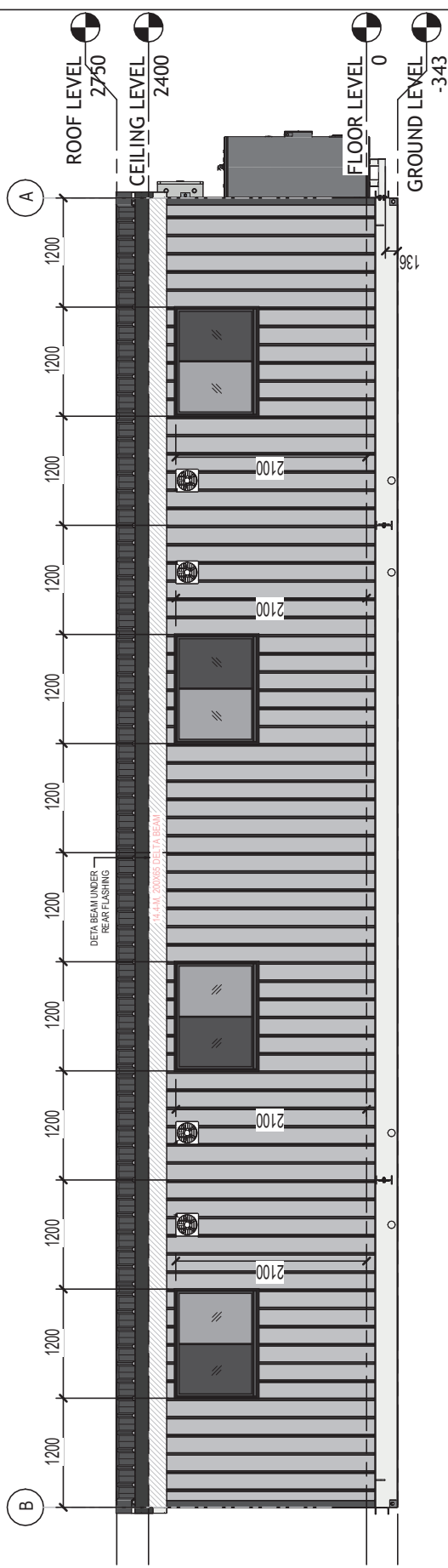
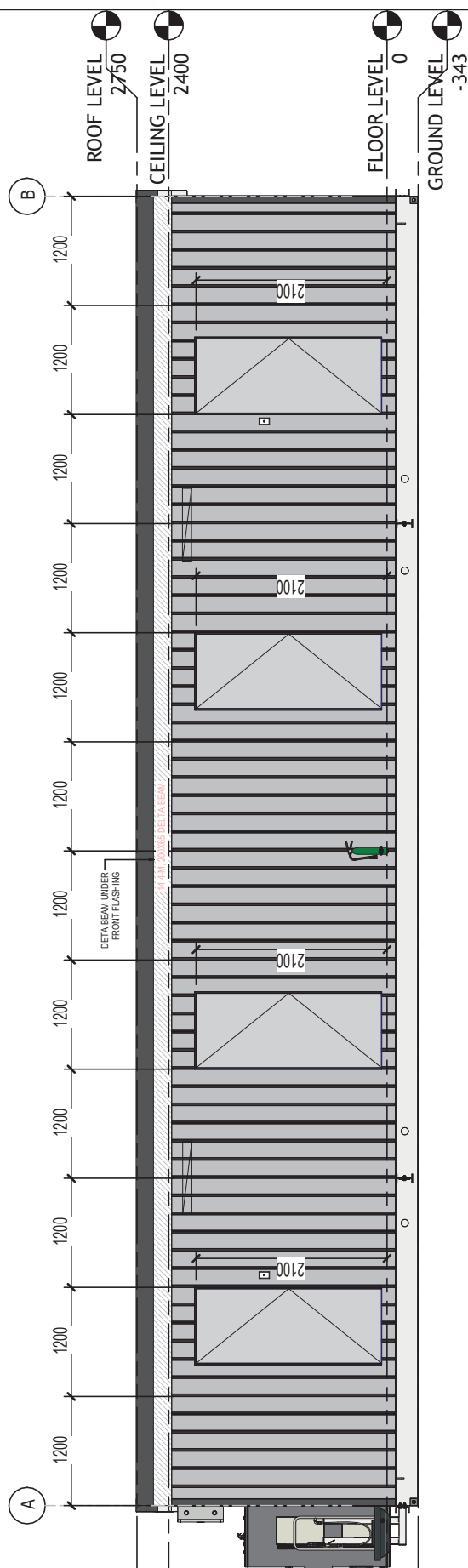
DRAWING DISCIPLINE

PHASE	FOR REVIEW
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DRAWN BY: EKD	CHECKED BY: NV	APPROVED BY: AB
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PN26	1:50	A3
CONTROLLED CODE: JN1539		
SPATIAL BREAKDOWN:		

DRAWING NO.: 103	REV: IF1-1.1
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A2-56 Horse & Jockey Road, Racecourse, Queensland
Phone: 07 5599 6666
Email: info@abodemodular.com.au
Website: abodemodular.com.au

REVISIONS		
NO	DESCRIPTION	DATE
1	IF1	08/26/2025

	For Information (IF)	For Manufacturing (MF)	For Commissioning (FC)	For As-built (FAB)	Others

REFERENCE	DRAWING NO.	REV.	REMARK

CONSULTANTS:

ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
PIPE ENGINEERING	

CUSTOMER:

ABODE MODULAR

PROJECT PROJECT ADDRESS:

14.0x3.0m ACCOM STD UNIT
4R ACCOM

LOCAL AUTHORITY:

REGION C, TERRAIN 2, AUSTRALIA WIDE

DRAWING NAME:

ELEVATIONS

DRAWING DISCIPLINE:

INFORMATION

PHASE:

FOR REVIEW

DRAWING BY:

EKO

CHECKED BY:

INV

APPROVED BY:

AB

PROJECT CODE:

PN26

SCALE:

1 : 25

SIZE:

A3

CONTROLLED CODE:

JNT539

INITIAL BREAKDOWN:

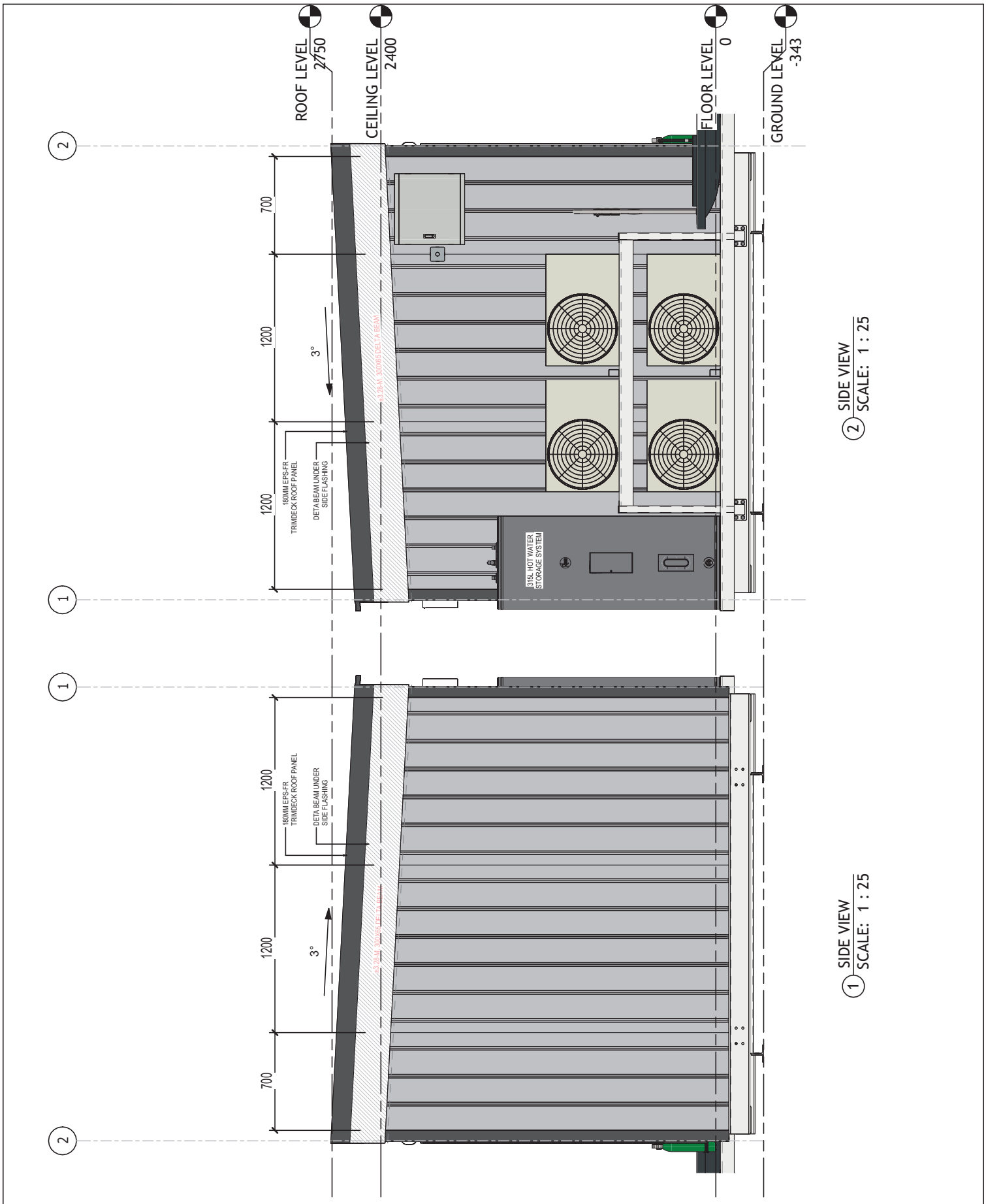
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DRAWING NO.:

104

REV:

IF1-1.1



② SIDE VIEW
SCALE: 1 : 25

① SIDE VIEW
SCALE: 1 : 25

[illegible]

	For Information (FI)	For Manufacturing (FM)
	For Review (FR)	For Construction (FC)
	For Resource Consent (RC)	For As-built (FAB)
	For Building Consent (BC)	Others
	For Tender (FT)	

REFERENCE		
DRAWING NO.	REV.	REMARK

CONSULTANTS:	
	ARCHITECTURE
	STRUCTURE
	HYDRAULIC
	MECHANICAL
	FIRE ENGINEERING

CLIENT:	ABODE MODULAR
PROJECT/PROJECT ADDRESS:	14.0x3.0m ACCOM STD UNIT 4R ACCOM

COAL AUTHORITY: **REGION C, TERRAIN 2, AUSTRALIA WIDE**

DRAWING NAME:

SECTION

2000

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DRAWING DISCIPLINE
INFORMATIONNOTES ON THE CONTRIBUTORS

PHASE

FOR REVIEW

FOR REVIEW

DRAWN BY:	CHECKED BY:	APPROVED BY:
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AB	NV	EKD
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3	1:400	1/8" = 1'-0"
4	1:800	1/16" = 1'-0"
5	1:1600	1/32" = 1'-0"
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7	1:6400	1/128" = 1'-0"
8	1:12800	1/256" = 1'-0"
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PN26	1 : 50	A3
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CONTROLLED CODE: _____

SPATIAL BREAKDOWN: _____

JN1539	
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DRAWING NO.: 402
REV: 111414

105	IF-1.1
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[illegible]

	For Information (FI)	For Manufacturing (FM)
	For Review (FR)	For Construction (FC)
	For Resource Consent (RC)	For Aesthetics (FA)
	For Building Consent (BC)	Others
	For Tender (FT)	

REFERENCE		
DRAWING NO.	REV.	REMARK

CONSULTANTS:	
	ARCHITECTURE
	STRUCTURE
	HYDRAULIC
	MECHANICAL
	FIRE ENGINEERING

CLIENT:	ABODE MODULAR
PROJECT/PROJECT ADDRESS:	14.0x3.0m ACCOM STD UNIT 4R ACCOM

LOCAL AUTHORITY:	REGION C, TERRAIN 2. AUSTRALIA WIDE
DRAWING NAME:	

SECTION DETAILS

PHASE	FOR REVIEW
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DRAWN BY:	EKD	CHECKED BY:	NV	APPROVED BY:	AB
PROJECT CODE	PN26	SCALE	AS	SIZE	A3

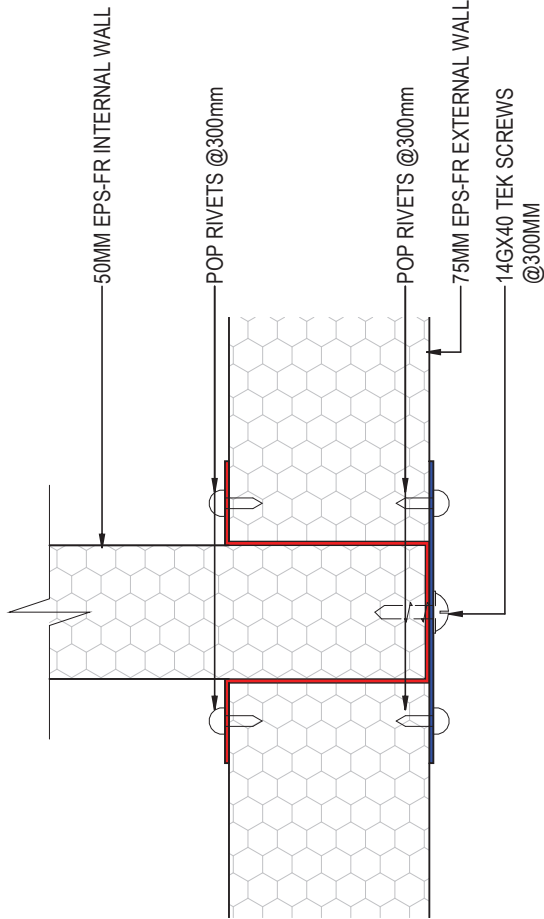
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DRAWING NO.:	107
REV:	IF1-1.1

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3
DETAIL
SCALE: 1 : 3

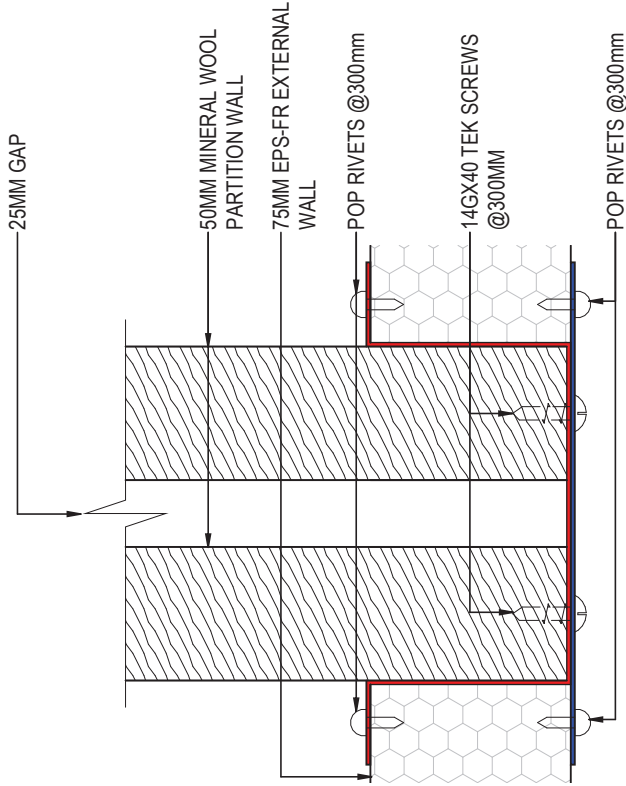
INTERNAL



EXTERNAL

1 DETAIL
SCALE: 1 : 2

INTERNAL



EXTERNAL

2 DETAIL
SCALE: 1 : 2



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Australia 4008
Phone: 08 9400 0000
Website: abodemodular.com.au

REVISIONS		
NO	DESCRIPTION	DATE
1	IF1	08/26/2025

	For Manufacturing (M)	For Manufacturing (M)
	For Construction (C)	For Construction (C)
	For Approval (A)	For Approval (A)
	For Detail (D)	For Detail (D)
	For Review (R)	For Review (R)
	For Other (O)	For Other (O)

REFERENCE	DRAWING NO.	REV.	REMARK

CONSULTANT:	
ARCHITECTURE	
STRUCTURE	
MECHANICAL	
ELECTRICAL	
PLUMBING	

CLIENT	ABODE MODULAR
PROJECT ADDRESS	14.0x3.0m ACCOM STD UNIT
	4R ACCOM

LOCAL AUTHORITY	REGION C, TERRAIN 2 AUSTRALIA WIDE
DRAWING NAME	SECTION DETAILS

DRAWING DISCIPLINE	INFORMATION
PHASE	FOR REVIEW

DRAWING BY	CHKD BY	APPD BY
EKO	INV	AB

PROJECT CODE	SCALE	SIZE
PN26	1 : 2	A3

CONTROLLED CODE	INITIALS
JNT539	

DRAWING NO.	108	REV	IF1-1.1
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Report #	AE22505 B	(Cabin Complex 2 inc. common area)	Version	1.0
Purpose of Report	New STP and LAA for workers accommodation, & Common Areas			
Client:	MDB Plumbing and Gas Fitting Pty Ltd		Client Ref.	
Assessment Date	Monday, 1 December 2025			
Site Address:	Helen Street			
Suburb:	Croydon			
Postcode	4871			
Lot #	1 (Disposal only)			
Plan Details	MPH22204			
Lot Size (m ²)	1,012			
Local Authority	Croydon Shire Council			

Comments

A camp comprising 44 single bedrooms in a donga complex is proposed. The camp is temporary so the proposed system mitigates as much excavation and therefore rehabilitation as possible. The camp is granted permission to cover multiple unsewered lots on the outskirts of town. No single lot is large enough to contain all the required land application area (LAA). As a split is required, a pair of systems are proposed. This will ensure no lot exceeds the 4200L/daily limit (under a single permit) and also that the modular pair of systems can be relocated and utilised after the camp relocates. All fixtures require onsite wastewater treatment via an Advanced Secondary STP. These will remain above ground, dosed via a 3000L dual alternating grinder pump station (buried as required). Onsite disposal is proposed via fixed surface spray irrigation onto a vegetated maintained area. Again, to minimise the disturbance and rehab, the wobbler field is suggested to be a surface laid sillage-hose to wobbler-sled array.

The following reports (A&B) cover both system's sizing and subsequent independent LAAs. The camp can be logically split into the clustered donga groups. Lot 1 is to have the LAA from Cabin Complex 1 (28 dongas) loaded at accommodation only @ 120L/pax (N.B. Common areas will have loading @ 30L/pax here too in the common area of the other system). Lot 170 will receive the loading from 16 dongas, plus the common area.

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QBCC 15144645

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Site and Soil Evaluation

Arcadia Environmental was commissioned by the Client to design an effluent disposal system at this property.
A copy of this report, the associated design plus the plumbing approval must be left at the property for the occupant's information.
This report was compiled with information provided by the Client and data obtainable during the desktop study of the property.
Arcadia Environmental takes no responsibility for alterations or amendments to information unavailable prior to the report date.
This report is prepared in accordance with AS/NZS 2012 On-site Domestic Wastewater Management and the Queensland Plumbing and Wastewater Code 2024.

Site Details

Site Address	Helen Street			Suburb		Croydon	
Lot #	1 (Disposal only)	Plan Details	MPH22204	Postcode	4871	Lot Size (m²)	1,012
Local Authority		Croydon Shire Council					
Purpose of Report		New STP and LAA for workers accommodation Cabin Complex 2 and common area loading from Complex 1					
Number of Donga Rooms		16		Equivalent Population (E.P.)		16.0	
Water Supply		Reticulated Water		Water Allowance L/EP/Day		120	
Additional Flow L/Day		1320	Common Area	Daily Water Usage (Q _D) (L)		3240	

B. Common Area has 30L/day/ E.P. from Complex 1 and Complex 2 (44 Pc

AS/NZS 1547:2012 P.125 Table J1 & P.121 Table H1

Site Assessment

Assessment Date	01 December 2025		
LAA Conditions/Vegetation	Grass		
Exposure Conditions of LAA	Full Sun		
Aspect	N		
Gradient @ LAA (approx.)	3 deg or 5.2%		
Slope/Drainage Config	Linear Planar		
Rainfall in last 24 Hours (BOM)	0 mm		
Ground Water Depth (mm)	Not encountered		
Design/Site Considerations	Vehicular access/driveway		
	Small Lot		
	Removable system components		

AS/NZS 1547:2012 & AS1726-1993

Bore Log/Soil Profile - Hole #1	Texture	Structure	Shade	Hue/Colour	Description	Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL BR	LO SO	D	NS	NP	
150-300mm	Loamy Sand	Moderate	A	YL BR	GV SA	M	NS	NP	
300-550mm	Loamy Sand	Moderate	E	OR BR	SA GV	M	NS	NP	
Bore Log/Soil Profile - Hole # 2	Texture	Structure	Shade	Hue/Colour	Description	Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL BR	LO SO	D	NA	NP	
150-300mm	Loamy Sand	Moderate	A	YL BR	GV SA	M	NA	NP	
300-550mm	Loamy Sand	Moderate	E	OR BR	SA GV	M	NA	NP	
Bore Log/Soil Profile - Hole #3	Texture	Structure	Shade	Hue/Colour	Description	Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL BR	LO SO	D	NA	NP	
150-300mm	Loamy Sand	Moderate	A	YL BR	GV SA	M	NA	NP	
300-550mm	Loamy Sand	Moderate	E	OR BR	SA GV	M	NA	NP	
Adopted Soil Classification @ LAA	Sandy Loam	Moderate	Soil Category @ LAA			Cat 2	Ksat (Indicative)		1.5 - 3.0

AS/NZS 1547:2012 P.106 Table E1; P.55 Table 5.2; P.39 Table 5.1; P.160 Table M1; P.145 Table L1

Proposed Effluent Disposal Loading

Proposed Effluent Disposal Method		Wobbler Head Surface Spray	Required Effluent Quality	Adv. Sec.
Design Irrigation Rate DIR		5.0	Design Loading Rate DLR (mm/d)	12
DIR Reduction (% Due To Gradient)	3 deg or 5.2%	0	DLR Land Application Area (m ²)	
Adopted Design Irrigation Rate DIR		5.0	DIR Land Application Area (m ²)	648.0

AS/NZS 1547:2012 P.160 Table M1

Assessment #	AE22505 B	Assessment Date	01 December 2025	Version #	1.0
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**Proposed Effluent Disposal Method:
Fixed Wobbler Surface Spray Irrigation**

Land Application Loading			Item	Item Description		Values
E.P.	16	#Beds x 1.5 ^(R)	A	78	Area/wobbler (m ²)	8
Water Supply	120	LPP/d	B	Zone Diameter (m)		3.25
Q _D	3240	L/d	C	Zone Radius (m)		1.63
DIR	5.0	mm/d	D	Soakage spacing		0.63
Total Area	648	m ²	E	Plume Max Ø (m)		2.00
Install Area	648	m ²	F	Number of Control Valves (qty)		78
Sandy Loam	Cat 2		G	Number of Wobblers (qty)		78

AS/NZS 1547:2012 P.145 Table L1

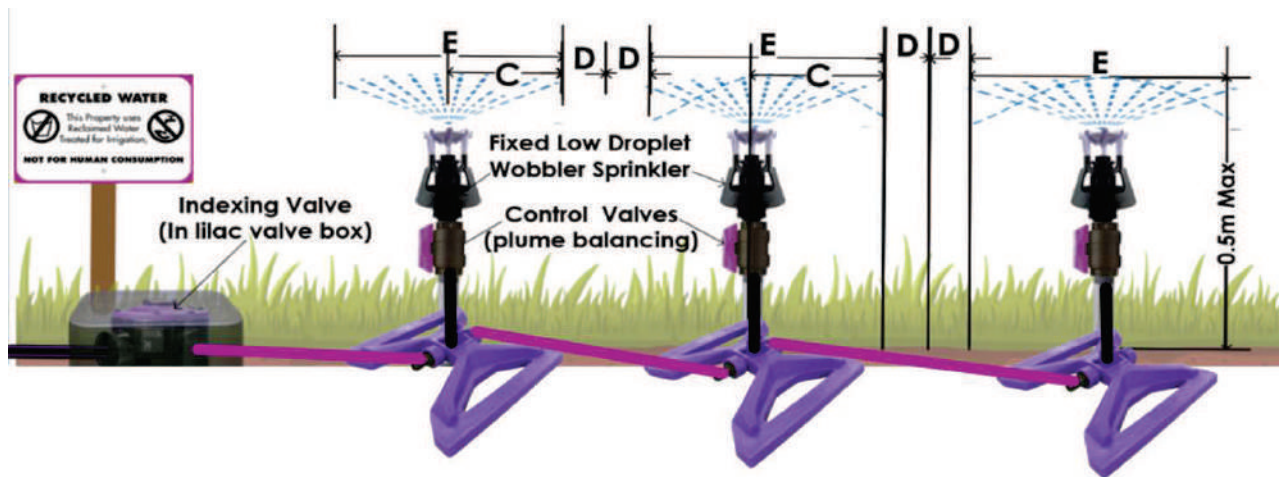
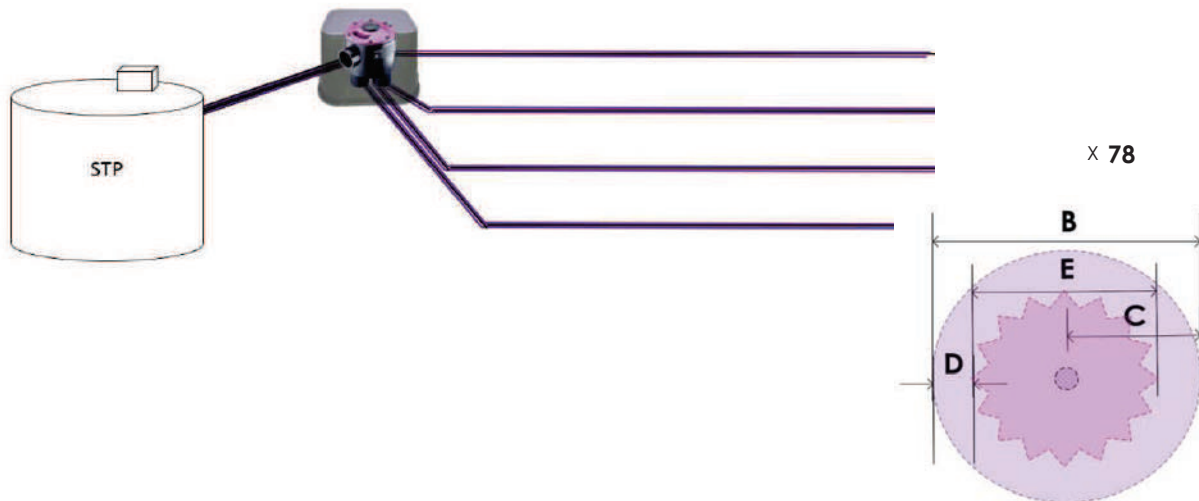


Fig.2 Typical Detail Only – See design for configuration and location



Comments/Notes

Surface Spray Irrigation via fixed low droplet sprinklers on stands.
 6 x indexed spray lines of 13 x 2.0 m plume radii.
 Each with 0.66 m perimeter soakage
 3.31 m diameter/wobbler - Total min. LAA = 652 m²
 Installer to vary according to obstacles, if required.
 Surface 25mm sullage hose indexed lines, each extending from a 6 port indexing valve.
 Suggest turf peg to anchor hoses and wobbler sleds/stands. (non-movable).

Assessment #	AE22505 B	Assessment Date	01 December 2025	Version #	1.0
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Report #	AE22505 A (Cabin Complex 1)	Version	1.0
Purpose of Report	New STP and LAA for workers accommodation.		
Client:	MDB Plumbing and Gas Fitting Pty Ltd	Client Ref.	
Assessment Date	Monday, 1 December 2025		
Site Address:	Helen Street		
Suburb:	Croydon		
Postcode	4871		
Lot #	170 (Disposal only)		
Plan Details	MPH15915		
Lot Size (m ²)	1,012		
Local Authority	Croydon Shire Council		

Comments

A camp comprising 44 single bedrooms in a donga complex is proposed. The camp is temporary so the proposed system mitigates as much excavation and therefore rehabilitation as possible. The camp is granted permission to cover multiple unsewered lots on the outskirts of town. No single lot is large enough to contain all the required land application area (LAA). As a split is required, a pair of systems are proposed. This will ensure no lot exceeds the 4200L/daily limit (under a single permit) and also that the modular pair of systems can be relocated and utilised after the camp relocates. All fixtures require onsite wastewater treatment via an Advanced Secondary STP. These will remain above ground, dosed via a 3000L dual alternating grinder pump station (buried as required). Onsite disposal is proposed via fixed surface spray irrigation onto a vegetated maintained area. Again, to minimise the disturbance and rehab, the wobbler field is suggested to be a surface laid sillage-hose to wobbler-sled array.

The following reports (A&B) cover both system's sizing and subsequent independent LAAs. The camp can be logically split into the clustered donga groups. Lot 1 is to have the LAA from Cabin Complex 1 (28 dongas) loaded at accommodation only @ 120L/pax (N.B. Common areas will have loading @ 30L/pax here too in the common area of the other system). Lot 170 will receive the loading from 16 dongas, plus the common area.

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www.arcadiaenviro.com.au

QBCC 15144645

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Site and Soil Evaluation

Arcadia Environmental was commissioned by the Client to design an effluent disposal system at this property.
A copy of this report, the associated design plus the plumbing approval must be left at the property for the occupant's information.
This report was compiled with information provided by the Client and data obtainable during the desktop study of the property.
Arcadia Environmental takes no responsibility for alterations or amendments to information unavailable prior to the report date.
This report is prepared in accordance with AS/NZS 1547:2012 On-site Domestic Wastewater Management and the Queensland Plumbing and Wastewater Code 2024.

Site Details

Site Address	Helen Street			Suburb		Croydon	
Lot #	70 (Disposal only)	Plan Details	MPH15915	Postcode	4871	Lot Size (m ²)	1,012
Local Authority	Croydon Shire Council						
Purpose of Report	New STP and LAA for workers accommodation Cabin Complex 1						
Number of Donga Rooms	28			Equivalent Population (E.P.)		28.0	
Water Supply	Reticulated Water			Water Allowance L/EP/Day		120	
Additional Flow L/Day	0	Common Area	Daily Water Usage (Q _D) (L)		3360		

AS/NZS 1547:2012 P.125 Table J1 & P.121 Table H1

Site Assessment

Assessment Date	01 December 2025	
LAA Conditions/Vegetation	Grass	
Exposure Conditions of LAA	Full Sun	
Aspect	N	
Gradient @ LAA (approx.)	3 deg or 5.2%	
Slope/Drainage Config	Linear Planar	
Rainfall in last 24 Hours (BOM)	0 mm	
Ground Water Depth (mm)	Not encountered	
Design/Site Considerations	Vehicular access/driveway	
	Small Lot	
	Removable system components	

AS/NZS 1547:2012 & AS1726-1993

Bore Log/Soil Profile - Hole #1	Texture	Structure	Shade	Hue/Colour		Description		Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL	BR	LO	SO	D	NS	NP	
150-300mm	Loamy Sand	Moderate	A	YL	BR	GV	SA	M	NS	NP	
300-550mm	Loamy Sand	Moderate	E	OR	BR	SA	GV	M	NS	NP	
Bore Log/Soil Profile - Hole # 2	Texture	Structure	Shade	Hue/Colour		Description		Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL	BR	LO	SO	D	NA	NP	
150-300mm	Loamy Sand	Moderate	A	YL	BR	GV	SA	M	NA	NP	
300-550mm	Loamy Sand	Moderate	E	OR	BR	SA	GV	M	NA	NP	
Bore Log/Soil Profile - Hole #3	Texture	Structure	Shade	Hue/Colour		Description		Moisture	Dispersive	Plasticity	K _{sat} (m/day)
0-150mm	Sandy Loam	Moderate	A	YL	BR	LO	SO	D	NA	NP	
150-300mm	Loamy Sand	Moderate	A	YL	BR	GV	SA	M	NA	NP	
300-550mm	Loamy Sand	Moderate	E	OR	BR	SA	GV	M	NA	NP	
Adopted Soil Classification @ LAA	Sandy Loam	Moderate	Soil Category @ LAA		Cat 2		Ksat (Indicative)		1.5 - 3.0		

AS/NZS 1547:2012 P.106 Table E1; P.55 Table 5.2; P.39 Table 5.1; P.160 Table M1; P.145 Table L1

Proposed Effluent Disposal Loading

Proposed Effluent Disposal Method		Wobbler Head Surface Spray	Required Effluent Quality		Adv. Sec.
Design Irrigation Rate DIR		5.0	Design Loading Rate DLR (mm/d)		12
DIR Reduction (% Due To Gradient)	3 deg or 5.2%	0	DLR Land Application Area (m ²)		
Adopted Design Irrigation Rate DIR		5.0	DIR Land Application Area (m ²)		672.0

AS/NZS 1547:2012 P.160 Table M1

Assessment #	AE22505 A (Cabin Complex 1)	Assessment Date	01 December 2025	Version #	1.0
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**Proposed Effluent Disposal Method:
Fixed Wobbler Surface Spray Irrigation**

Land Application Loading			Item	Item Description		Values
E.P.	28	#Beds x 1.5 ^(R)	A	78	Area/wobbler (m ²)	9
Water Supply	120	LPP/d	B	Zone Diameter (m)		3.31
Q _D	3360	L/d	C	Zone Radius (m)		1.66
DIR	5.0	mm/d	D	Soakage spacing		0.66
Total Area	672	m ²	E	Plume Max Ø (m)		2.00
Install Area	672	m ²	F	Number of Control Valves (qty)		78
Sandy Loam	Cat 2		G	Number of Wobblers (qty)		78

AS/NZS 1547:2012 P.145 Table L1

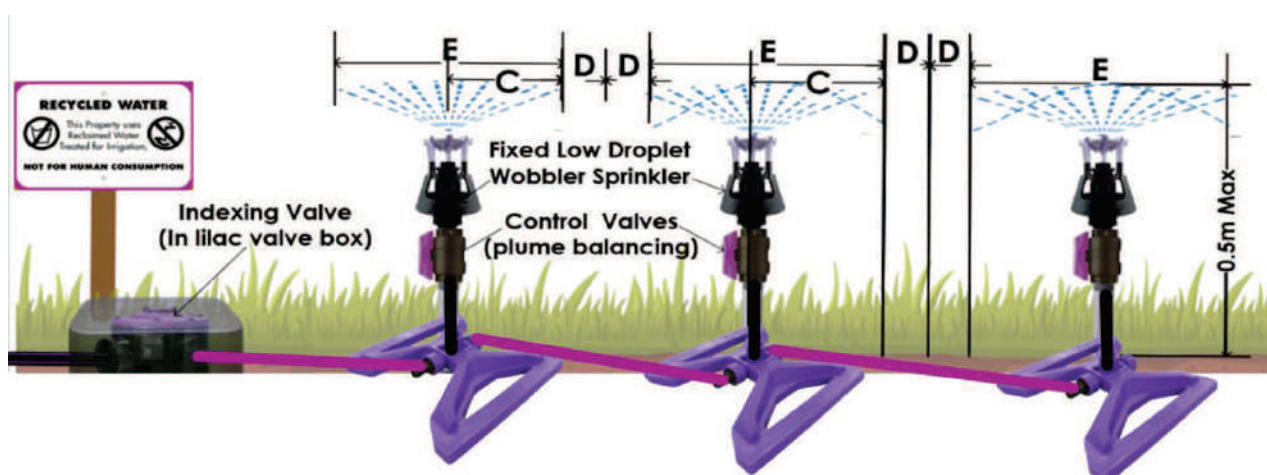
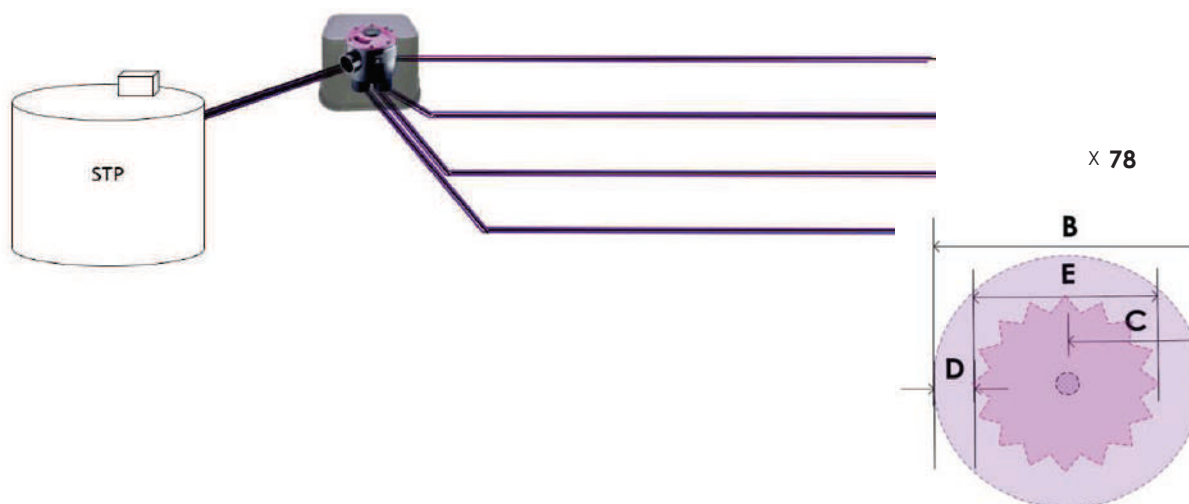


Fig.2 Typical Detail Only – See design for configuration and location



Comments/Notes

Surface Spray Irrigation via fixed low droplet sprinklers on stands.
 6 x indexed spray lines of 13 x 2.0 m plume radii.
 Each with 0.66 m perimeter soakage
 3.31 m diameter/wobbler - Total min. LAA = 652 m²
 Installer to vary according to obstacles, if required.
 Surface 25mm sullage hose indexed lines, each extending from a 6 port indexing valve.
 Suggest turf peg to anchor hoses and wobbler sleds/stands. (non-movable).

Assessment #	AE22505 A (Cabin Complex 1)	Assessment Date	01 December 2025	Version #	1.0
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PLEASE READ

This report is to be read in conjunction with the attached site plan detailing the effluent disposal design.

Any amendments or variations to the design may only be undertaken with written permission of Arcadia Environmental and the re-approval of the Local Authority, if a permit has already been applied for/granted.

Alterations requested after the presentation of the preliminary design, may incur a redraw fee. Call for details

HSTP and Land Application Area - Installer Notes

No installation of any part of this system is to commence without the plumbing approval, on hand.

The LAA shall only be installed if it the LAA is in the undisturbed ground assessed in this report. Call our office if unsure.

All irrigation pipework and fittings are to be Watermark approved and comply with AS 1477 or AS 2698.2. Installation to comply with AS/NZS 3500.2

If the HSTP is to be located in a Flood Zone, the top of tank must be 150mm above the highest flood AHD.

No cut and/or fill earthworks to be undertaken in the area are permitted, unless specified in the design or for diversion away from the LAA.

Prior to installation, it is advisable to minimise vehicular traffic in the LAA. Compaction will impact infiltration and run-off.

After installation, adequate measures are to be made to prevent vehicular traffic entering the LAA.

Vegetation shall be established over the LAA directly after installation, if required. If not part of the install - please liaise with client.

Signs to be installed at the LAA stating "Recycled Water - Avoid Contact- Do Not Drink". Signage to comply with AS1319 and visible @ 3m.

For all **Form 8** requests, please email your **Form 7** - Notification of responsible person to the address at the top of this page.

If a request to inspect the installation is not made with sufficient notice, photographs of the installation must be supplied for Form 8 issue.

Tank installation must follow maker's guidelines. Tank's Invert and final location to be determined by the licenced installer.

Some Local Authorities require outlet filters on spray irrigation (see approval).

Commissioning Agent to ensure even distribution is achieved with Service Agent to ensure ongoing even distribution.

Photos of the installation are always advised.

All work is to be conducted with care and compliance with occupational health and safety requirements and all relevant regulatory conditions.

Should you have any questions regarding this report and design, please contact us, referencing report number: **AE22505 A (Cabin Complex 1)**

Responsibilities of the Occupant of the Property

It is important to follow the Operating Manual that came with your HSTP. If you do not have a copy, contact your tank's manufacturer.

If **FULL** water reduction fixtures are specified on page 2, the occupant is to have a front loader washing machine and appropriate fixtures.

A service agreement must be in place for the installed HSTP. This is required under the permit from the Local Authority.

The area should be vegetated with species tolerant of moisture and maintained to maximize evaporation and nutrient transport from the LAA.

If required, the LAA may need to be demarcated or fenced to prevent entry by people and animals.

Food waste disposal units are not recommended with HSTPs. Fat and grease from food preparation should be scraped into the bin.

Effluent shall not be used for the irrigation of fruit or vegetables.

Alterations to the property may impact calculations of this design. Contact us if you are planning any further connections to this system.

Do not dispose of wipes or feminine hygiene products into your sewer. The system is not designed to process these items.

Avoid detergents and soaps with high in phosphorous and bleach contents. Refer to manufacture's website for details.

It is recommended that the household water usage is spaced out over the week to avoid surging water through the system.

All stormwater uphill of the LAA is to be diverted away from the LAA

A range of information is available on local council's websites, relating to suitable species for planting, LAA setback distances, water saving tips.

For surface spray installations, the hoses should be regularly rotated about the centre point of each zone, to distribute the effluent evenly.

The LAA is to be maintained as per the accompanying design. Regular mowing or topping up of mulch is, as required.

Declaration

Arcadia Environmental was requested by the Client to provide a Site and Soil Evaluation and Design for an appropriate effluent disposal system in accordance with AS1547:2012, the Queensland Wastewater Code, Local Authority's requirements. Also, AS1289, AS2870:2011 and AS1726. I hereby declare the information herein to be verifiable and correct. The installation and ongoing maintenance of the system is the responsibility of others. Product specific care and maintenance instructions must be followed to ensure the longevity of the designed system.

Assessed and designed by	T. N. Dugri		Date	01/12/25
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Assessment #	AE22505 A (Cabin Complex 1)	Assessment Date	01 December 2025	Version #	1.0
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TREATMENT PLANT APPROVAL 24/2021

Plumbing and Drainage Act 2018

Approval

1. The **Taylex Concrete ABS 4200 (28EP/4200L)** ("the system") described in the Specifications and Drawings in the attached Schedule and manufactured by **Taylex Australia Pty Ltd** ("the manufacturer") (ABN 43 646 051 989) ("the manufacturer") has been assessed in accordance with the Queensland Plumbing and Wastewater Code (QPW Code) dated 26 March 2019.
2. Approval is granted for the advanced secondary quality wastewater treatment system, subject to compliance by the manufacturer with the requirements of the *Plumbing and Drainage Regulation 2018*, and the conditions of approval detailed below.
3. This approval, the conditions of approval and the Schedule comprise the entire Treatment Plant Approval document.
4. Any modification by the manufacturer to the design, drawings or specifications scheduled to this approval must be approved by the Chief Executive.

Conditions of approval

5. The manufacture, installation, operation, service and maintenance of the systems must be in conformity with the conditions of this Treatment Plant Approval.
6. The system when tested by a certification accreditation body in accordance with AS1546.3:2017 was found to comply with the advanced secondary 28EP/4200L level with nutrient reduction of 45.35% in Nitrogen and 13.72% for Phosphorus and must continue to meet the following requirements:

TABLE 2.1 (AS1546.3:2017)
EFFLUENT COMPLIANCE CRITERIA
FOR AN STS WITH NO NUTRIENT
REDUCTION FACILITIES

Parameter	Secondary effluent		Advanced secondary effluent	
	90% of samples	Maximum	90% of samples	Maximum
BOD ₅	≤20 mg/L	30 mg/L	≤10 mg/L	20 mg/L
TSS	≤30 mg/L	45 mg/L	≤10 mg/L	20 mg/L
<i>E. coli</i> *	≤10 cfu/100 mL	30 cfu/100 mL	≤10 cfu/100 mL	30 cfu/100 mL
FAC	Minimum 0.5 mg/L†	N/A	Minimum 0.5 mg/L†	N/A
Turbidity	N/A	N/A	N/A	5 NTU

* Where disinfection is required.

† Minimum level, not 90% of samples.

Treatment Plant Approval

Approved by: Lindsay Walker
Delegated Authority
Department of Energy & Public Works

7. Each system must be serviced in accordance with the accreditation certificate by Global Certification Pty Ltd on 18 October 2021, and details supplied in the owner's operation and maintenance manual.
8. Each system must be supplied with —
 - (a) a copy of this Treatment Plant Approval document;
 - (b) details of the system;
 - (c) instructions for authorised persons for its installation;
 - (d) a copy of the owner's manual to be given to the owner at the time of installation; and
 - (e) detailed instructions for authorised service personal for its operation and maintenance.
9. At each anniversary of the Treatment Plant Approval date, the supplier must submit to the Chief Executive a list of all systems installed in Queensland during the previous 12 months. Where the Chief Executive is notified of any system failures the Chief Executive may randomly select a number of installed systems for audit. The Chief Executive will notify the supplier's nominated NATA accredited laboratory which systems are to be audited for BOD⁵ and TSS. The sampling and testing of selected systems, if required, is to be done at the supplier's expense. The following results must be reported to the Chief Executive;
 - (a) Address of premises;
 - (b) Date inspected and sampled;
 - (c) Sample identification number;
 - (d) BOD⁵ for influent and effluent; and
 - (e) TSS for influent and effluent.
10. The Chief Executive may, by written notice, cancel this approval if the manufacturer/supplier fails —
 - (a) to comply with one or more of the conditions of approval; or
 - (b) within 30 days, to remedy a breach, for which a written notice been given by the Chief Executive.
11. This approval may only be assigned with the prior written consent of the Chief Executive.
12. This approval expires on 21 November 2026 unless cancelled earlier in accordance with paragraph 10 above.

Lindsay Walker

Director
Plumbing, Drainage and Special Projects
Building Legislation and Policy
Date approved: 22 November 2021

Level 15,
53 Albert Street Brisbane
GPO Box 2457, Brisbane Qld 4001
Telephone +61 7 3008 2557
Facsimile +61 7 3237 1248
Website www.epw.qld.gov.au

ABN 61 331 950 314

Treatment Plant Approval
Approved by: Lindsay Walker
Delegated Authority
Department of Energy & Public Works

TREATMENT PLANT APPROVAL No. 24/2021
Plumbing and Drainage Act 2018

SCHEDULE

Attachment 1

Drawings and Specifications for the

Taylex Concrete ABS 2400 (28EP/4200L)

Treatment Plant Approval

Approved by: Lindsay Walker
Delegated Authority
Department of Energy & Public Works

PRODUCT CERTIFICATE OF REGISTRATION



Global Certification Pty Ltd

Number 40/26

Product Performance Testing

Advanced Secondary 4200 L/day or 28EP level with a reduction of 45.35% for Nitrogen and 13.72% for Phosphorus

Issued to

Taylex Australia Pty Ltd

56 Prairie Road Ormeau Qld 4208

Initial Certification Date: - 18th October 2021 Expiry Date: - 18th October 2026

Product Certified:

Model	Disinfection	Average Results over the Test Period	Servicing Frequency	Discharge	Manufactured and assembled
Taylex Concrete ABS 4200	Yes	TSS: 4.41mg/l BODs: 1.07mg/l E Coli: 0.32 CFU/100mL Nitrogen: 38.54 mg/L Phosphorous: 9.64 mg/L	3 Month Service 5.4 yearly sedimentation pump out or as required	Pumped via disinfection/pump chamber with chlorine dispenser	Manufactured and Assembled: 56 Prairie Road, Ormeau, QLD 4208

The system took 2 weeks to meet the advanced secondary standard.
Note: The E coli result was compliant for the entire period from installation.
The vertical axis tanks are certified to AS/NZS 1546.1:2008

NACE CODES: 3700

This Certificate of Conformance to the Product Certificate Scheme for "Domestic Wastewater Treatment Units (AWTS)" remains the property of Global Certification Pty. Ltd. and is granted subject to the terms and conditions of the Contract Application, in respect of the Product certified on this page and the attached schedule to the Certification of Conformance, bearing the same number as this certificate.

Treatment Plant Approval

Approved by: Lindsay Walker
Delegated Authority
Department of Energy & Public Works



Date of Issue: 18th October 2021 Dave Steer – General Manager

Signed for and on behalf of Global Certification Pty Ltd
PO Box 195, Morayfield QLD 4506

www.jas-anz.com.au/register

© Global Certification Pty Ltd GC0050B R4 July 2015

**1. TANK STRUCTURE TO BE SEATED ON...
50mm THICK BED OF 5mm CRUSHED ROCK
COMPACTED AND LEVELLED ALL ON APPROVED PREPARED SUB BASE.**

APPROVED PREPARED SUB-BASE TO HAVE MINIMUM BEARING CAPACITY OF 100 kPa.

2. BACKFILLING OF EXCAVATION TO BE COMPLETED IN NOT MORE THAN 500mm EQUALLY DISTRIBUTED LAYERS AROUND THE TANK PERIMETER.

888

TANK HAS BEEN DESIGNED TO SUIT
MAXIMUM HEIGHT OF FILL ABOVE TANK ROOF
AS SHOWN ON S031

CONCRETE GRADE (f'c)	32 MPa	BASE + WALLS + ROOF
MAXIMUM DRYING SHRINKAGE	700	MICROSTRAIN
MAXIMUM WATER TO CEMENT RATIO	0.46	

TOP = 30mm BOTTOM = 30mm SIDES = 30mm

N10	400	N16	700	N24	1000
N12	450	N20	800		

8 NUMBER OF BARS IN GROUP

200 SPACING IN IIIIII
1 DENOTES LAYER BAR PLACED IN

9. ALL LIFTING PROCEDURES, MECHANISMS, DEVICES, STABILITY, PROPPING, ADDITIONAL SUPPORT AND REINFORCEMENT REQUIRED FOR LIFT AND DURING CONSTRUCTION IS TO BE PROVIDED AND CERTIFIED BY A TEMPORARY WORKS REGISTERED PROFESSIONAL ENGINEER AND LIFTING MANUFACTURER AND IT'S REGISTERED PROFESSIONAL ENGINEER.

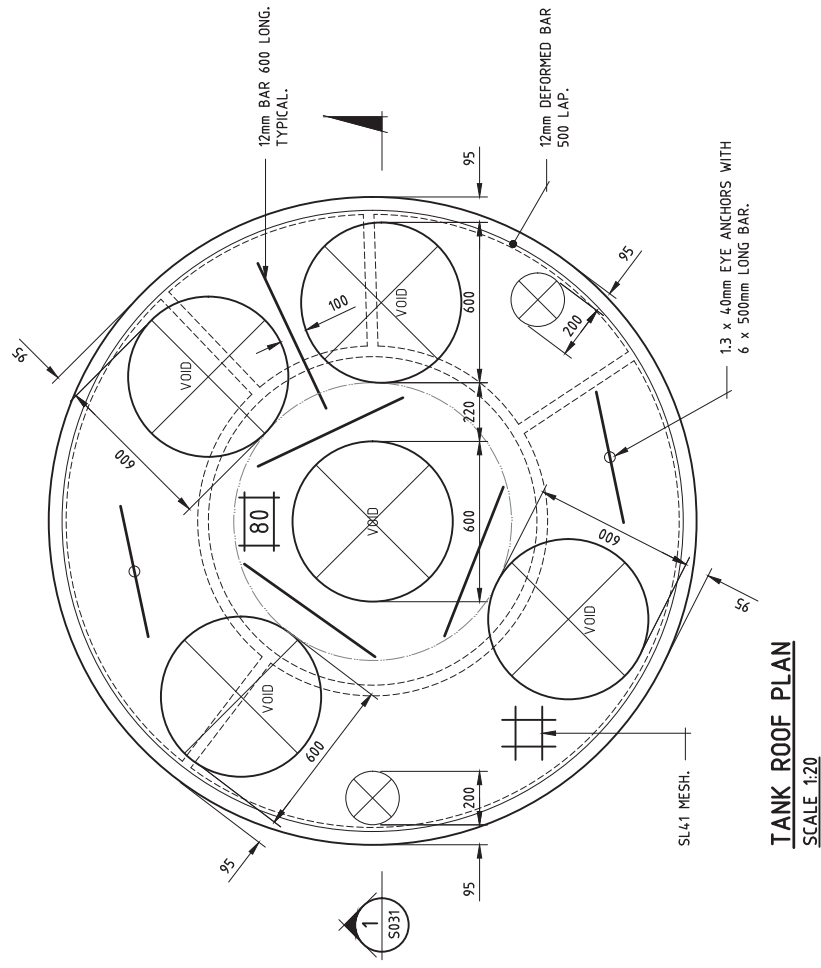
ALL REINFORCEMENT + CONNECTIONS SHOWN ARE FOR TANKS IN PLACE ONLY.

10. TRIMMER SCHEDULE

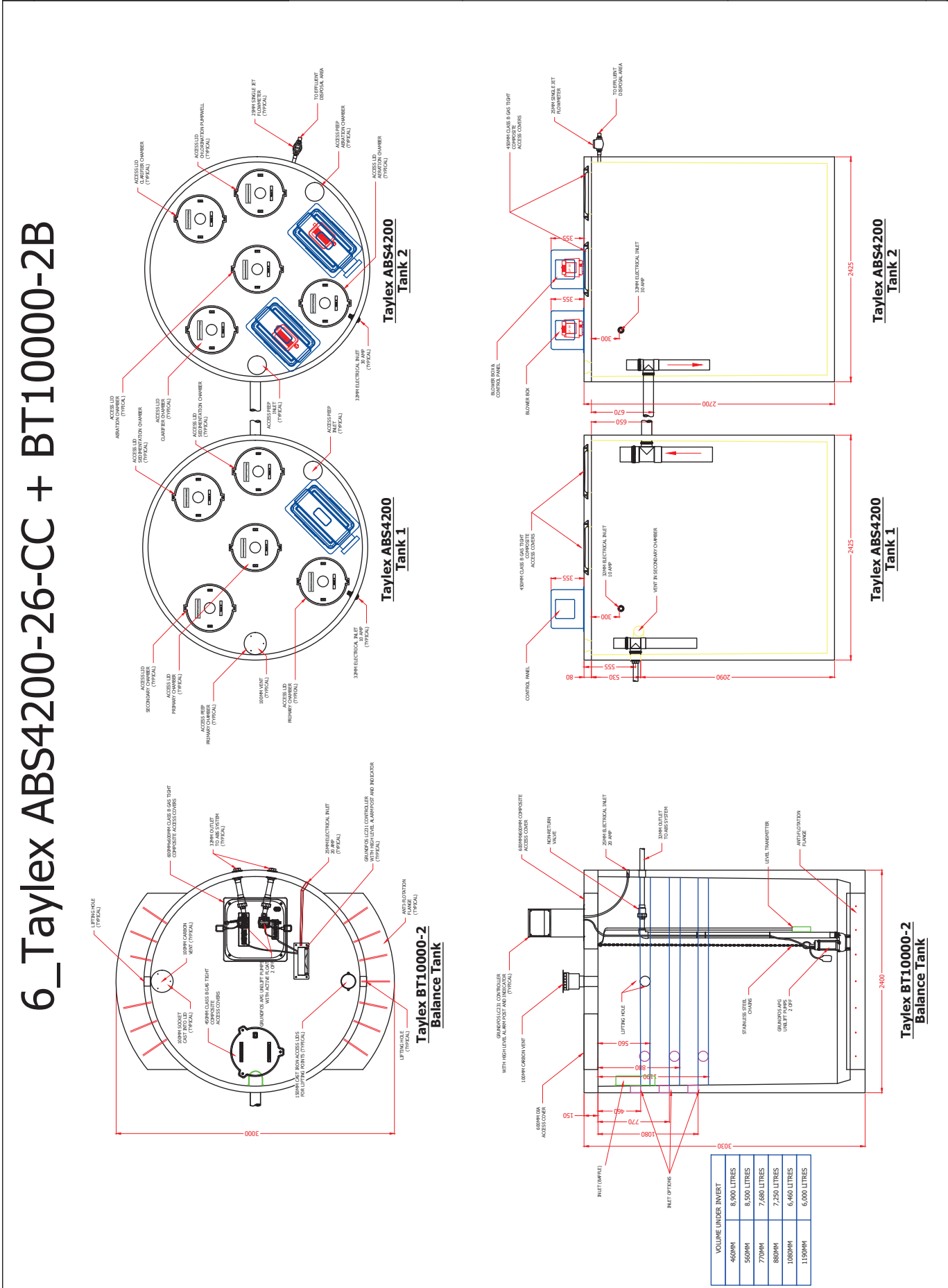
11. THIS TANK HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
- | | |
|------------------|---|
| - AS 1170 SERIES | STRUCTURAL DESIGN ACTIONS |
| - AS 1546.1:2008 | ON-SITE DOMESTIC WASTE WATER TREATMENT UNITS. |
| - AS 3600: 2018 | CONCRETE STRUCTURES. |
| - AS 4678 | EARTH-RETAINING STRUCTURES. |
| - AS 5100.2 | DESIGN LOADS. |




Treatment Plant Approval
 Approved by: Lindsay Walker
 Delegated Authority
 Department of Energy & Public Works

[illegible]

TANK DETAILS	
Taylex BT10000-2 BT10000-2 1 x Access Cover Option Class B Composite	2 x Grundfos APG Unlift Grinder Pumps 1 x Grundfos Controller with High Level Indicator in Post 1 x Level Transmitter 1 x Carbon Vent. 1 x Anti-Float Base. Epoxy Coating as required
Taylex ABS4200 ABS4200-26M-CC TANK ONE 5 x 450mm Composite Bolt Down Access Covers 1 x D25VA PUMP	TANK TWO 5 x 450mm Composite Bolt Down Access Covers 1 x DAV42 IRRIGATION PUMP 1 x Single Jet Flow Meter
ELECTRICAL CONNECTIONS:	
BT10000-2 (20amp) ABS4200 Tank 1 (10amp) ABS4200 Tank 2 (20amp)	PACKAGE 2 x 100mm Carbon Vent 3 x 100mm PVC Caps 1 x Control Box and Stand 4 x 50mm Dyna Bolts 1 x Flowmeter 1 x Alan Key for Covers 2 x Lifting Handles for Covers 1 x 32 to 100mm Tank Fittings
Each Tank should have its own circuit breaker at a centralised board dedicated to the treatment system LIFTING REQUIREMENTS REFER DETAIL FOR EACH TANK	



[illegible]

WEIGHT DATA (APPROX)						
S/N	GENSET MODEL	ENGINE MODEL	ALTERNATOR FRAME	GENSET DRY WEIGHT (KG)	GENSET WET WEIGHT (KG)	CG LOCATION
1	C 13096	6BTAAS, 5 G6	UC1274F	2219	2325	CG A DM B
			UC1274F	2317	2363	1701
						825
2	C 15005	6BTAAS, 5 G6	UC1274F	2219	2325	CG A DM B
			UC1274F	2317	2363	1719
						826
3	C 17005	6BTAAS, 5 G6	UC1274F	2317	2453	CG A DM B
			UC1274F	2369	2481	1740
						827

Part A053A541 B

Description	Legacy Name	External Regulations	Application Status	Release Phase Code	Security Classification	Alternates
OUTLINE,GENSET	A053A541	CE	Production Only	Production	Internal use Only	

Part Specifications :A053A541 B

Name	Description	Legacy Name
A030B356	SPECIFICATION,MATERIAL	CES10903
A053A542	DRAWING,ENGINEERING	A053A542



Sound Data

C170D5

6BTAA5.9-G7 50Hz Diesel

A-weighted Sound Pressure Level @ 7 meters, dB(A)

See notes 2, 5 and 7-11 listed below

Configuration	Exhaust	Applied Load	Position (Note 2)								8 Position Average
			1	2	3	4	5	6	7	8	
Standard - Unhoused (50°C Cooling Package)	Infinite Exhaust	0% Prime	78.2	81.0	79.9	82.1	84.2	82.5	81.0	80.6	81.5
		25% Prime	77.7	82.3	81.6	82.9	83.3	83.3	82.0	81.5	82.1
		50% Prime	77.5	82.5	81.7	83.1	83.5	83.3	81.9	81.6	82.2
		75% Prime	78.4	83.5	83.0	84.2	83.9	83.6	82.6	82.4	83.0
		100% Prime	79.2	82.8	82.9	83.6	82.8	83.9	82.6	82.6	82.7
		100% Standby	79.8	83.6	83.8	84.7	83.4	84.1	83.2	82.7	83.4
Enclosed (50°C Cooling Package)	Mounted Muffler	0% Prime	63.2	63.8	63.7	65.2	65.6	67.1	65.0	63.8	64.9
		25% Prime	64.1	64.5	65.1	66.4	66.4	68.6	66.6	65.1	66.1
		50% Prime	63.6	64.8	65.0	66.2	66.9	67.7	65.7	64.6	65.7
		75% Prime	64.7	65.6	65.7	66.2	67.5	68.0	66.5	65.5	66.3
		100% Prime	65.6	66.9	66.8	69.1	68.8	69.5	67.9	66.8	67.9
		100% Standby	66.2	67.5	67.6	70.3	69.2	70.8	69.0	68.1	68.8



Sound Data

C170D5

6BTAA5.9-G7 50Hz Diesel

Average A-weighted Sound Pressure Level @ 1 meter, dB(A)

See notes 1, 5 and 7-14 listed below

Configuration	Exhaust	Applied Load	Octave Band Center Frequency (Hz)											Overall Sound Pressure Level
			16	31.5	63	125	250	500	1000	2000	4000	8000	16000	
Standard - Unhoused (50°C Cooling Package)	Infinite Exhaust	0% Prime	N/A	41.3	58.2	66.6	78.8	87.6	87.4	86.1	79.4	72.2	62.5	92.4
		25% Prime	N/A	41.3	60.0	67.6	79.0	87.6	88.1	86.9	80.4	74.1	64.3	92.9
		50% Prime	N/A	41.8	61.7	68.3	79.0	87.7	88.3	86.5	81.0	76.0	65.7	92.9
		75% Prime	N/A	41.6	63.6	68.0	79.5	87.8	87.9	86.8	81.3	78.2	68.5	93.0
		100% Prime	N/A	41.7	65.8	69.2	79.8	87.6	88.1	87.5	81.6	78.8	71.4	93.3
		100% Standby	N/A	41.5	66.7	70.5	79.9	87.6	88.4	87.5	81.8	79.3	71.7	93.4
Enclosed (50°C Cooling Package)	Mounted Muffler	0% Prime	N/A	47.4	55.3	64.4	70.3	72.2	72.7	71.1	66.5	59.7	51.9	78.3
		25% Prime	N/A	47.0	57.3	66.1	71.1	72.0	72.8	71.2	66.6	59.8	51.8	78.5
		50% Prime	N/A	47.1	59.4	65.8	69.1	71.9	72.7	71.3	66.9	60.0	51.7	78.3
		75% Prime	N/A	46.7	60.7	66.6	71.2	72.6	73.0	71.9	68.1	60.8	52.3	79.0
		100% Prime	N/A	48.0	62.0	68.8	71.1	72.7	73.0	72.1	69.2	61.8	52.9	79.4
		100% Standby	N/A	47.8	62.0	70.3	72.2	72.2	72.6	71.9	69.2	61.9	53.1	79.5



Sound Data

C170D5

6BTAA5.9-G7 50Hz Diesel

A-weighted Sound Pressure Level @ Operator Location, dB(A)

See notes 1, 5 and 7-15 listed below

Configuration	Exhaust	Applied Load	Octave Band Center Frequency (Hz)											Overall Sound Pressure Level
			16	31.5	63	125	250	500	1000	2000	4000	8000	16000	
Standard - Unhoused (50°C Cooling Package)	Infinite Exhaust	0% Prime	N/A	37.8	59.0	67.9	78.1	85.5	86.7	86.3	79.6	72.0	58.7	91.6
		25% Prime	N/A	38.1	59.1	68.4	79.1	84.7	87.7	87.8	81.0	74.5	63.0	92.4
		50% Prime	N/A	37.9	59.2	68.7	78.8	85.1	88.1	87.4	81.9	76.2	64.9	92.5
		75% Prime	N/A	38.1	59.7	72.0	79.6	85.9	88.4	87.8	82.8	78.9	69.6	93.2
		100% Prime	N/A	37.8	62.3	72.2	79.4	84.8	89.1	87.8	82.3	78.6	71.7	93.2
		100% Standby	N/A	38.1	64.1	73.2	79.2	86.7	89.1	88.1	83.6	79.3	72.4	93.7
Enclosed (50°C Cooling Package)	Mounted Muffler	0% Prime	N/A	42.2	52.1	67.2	69.3	65.4	64.0	62.8	57.2	51.2	42.8	73.5
		25% Prime	N/A	41.2	53.4	68.9	71.0	65.7	65.1	64.0	58.5	54.2	46.1	74.9
		50% Prime	N/A	42.2	55.1	68.9	69.6	66.5	64.5	63.3	58.8	54.2	45.9	74.4
		75% Prime	N/A	42.9	58.1	68.7	70.0	66.9	65.0	64.3	60.8	56.2	49.9	74.8
		100% Prime	N/A	43.3	62.9	73.8	71.3	67.8	65.5	64.9	62.1	57.5	52.6	77.3
		100% Standby	N/A	43.7	64.1	75.6	72.9	68.7	65.8	65.1	62.8	58.7	54.0	78.8



Sound Data

C170D5

6BTAA5.9-G7 50Hz Diesel

A-weighted Sound Power Level, dB(A)

See notes 1, 3 and 6-14 listed below

Configuration	Exhaust	Applied Load	Octave Band Center Frequency (Hz)											Overall Sound Power Level
			16	31.5	63	125	250	500	1000	2000	4000	8000	16000	
Standard - Unhoused (50°C Cooling Package)	Infinite Exhaust	0% Prime	N/A	56.8	75.8	85.3	94.2	101.8	102.9	102.0	95.4	87.4	75.9	107.6
		25% Prime	N/A	57.0	77.1	85.5	95.1	101.4	103.9	103.2	96.7	89.7	78.2	108.3
		50% Prime	N/A	57.1	78.5	85.5	94.9	101.9	104.2	102.9	97.4	91.5	79.4	108.6
		75% Prime	N/A	56.6	81.2	86.7	95.7	102.2	104.7	103.7	98.8	94.4	82.8	109.2
		100% Prime	N/A	57.0	83.4	89.1	96.2	101.5	104.5	103.6	98.3	94.1	84.8	109.0
		100% Standby	N/A	57.6	84.0	88.4	96.1	102.4	105.0	104.0	99.7	94.9	86.0	109.6
Enclosed (50°C Cooling Package)	Mounted Muffler	0% Prime	N/A	61.3	69.6	82.0	86.9	86.1	86.8	85.6	81.2	74.2	66.0	93.2
		25% Prime	N/A	60.8	71.6	84.2	88.4	86.2	87.0	85.9	81.4	74.6	66.3	93.9
		50% Prime	N/A	61.5	74.0	83.6	87.5	86.4	87.0	86.2	82.0	75.0	66.4	93.7
		75% Prime	N/A	61.8	75.0	83.3	88.0	86.6	87.2	86.6	83.3	76.1	67.5	94.1
		100% Prime	N/A	61.9	76.9	88.5	88.3	87.1	87.9	87.5	85.2	77.5	68.3	95.5
		100% Standby	N/A	62.1	77.6	90.3	89.6	87.5	88.0	87.7	85.6	77.9	68.7	96.3



Sound Data

C170D5

6BTAA5.9-G7 50Hz Diesel

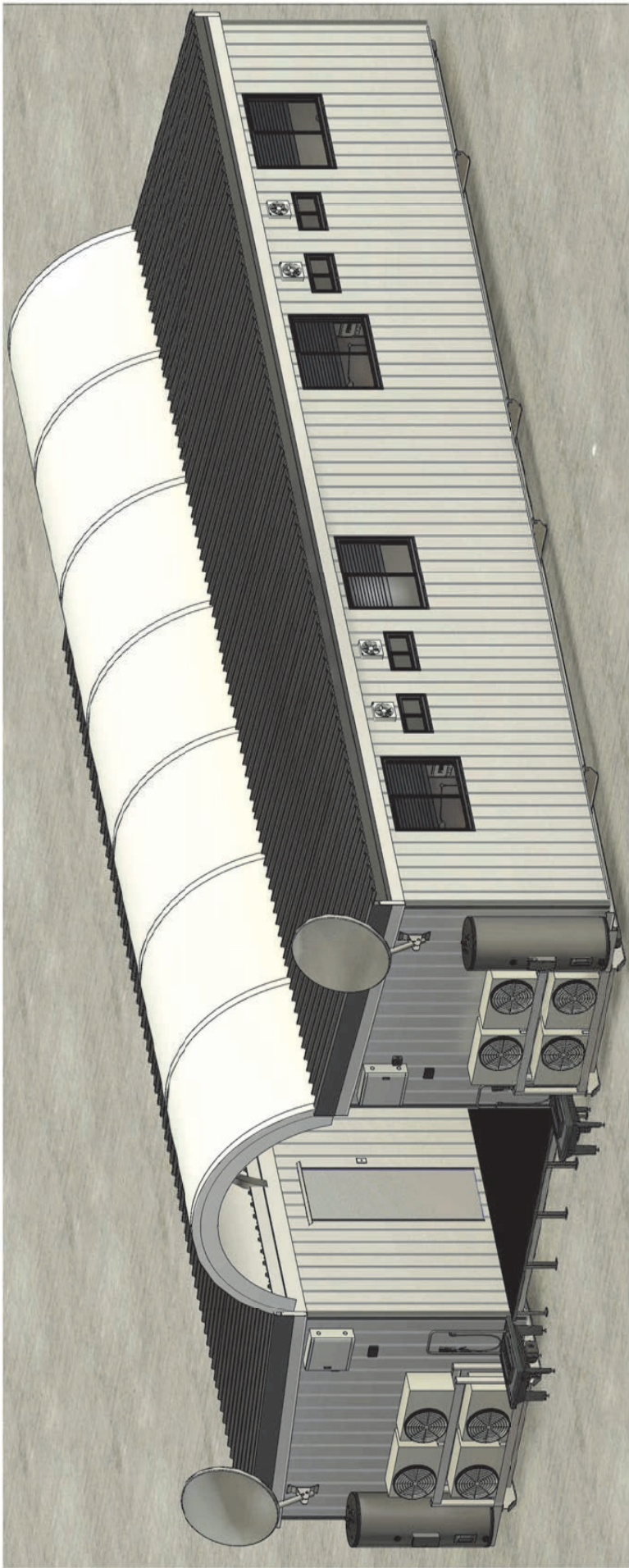
Exhaust Sound Power Level, dB(A)

See notes 4 and 6-14 listed below

Configuration	Applied Load	Octave Band Center Frequency (Hz)											Overall Sound Power Level
		16	31.5	63	125	250	500	1000	2000	4000	8000	16000	
Standard – Unhoused (With Tail Pipe)	0% Prime	N/A	54.7	81.1	99.4	93.5	96.3	98	96.5	90.5	83.4	71.5	104.4
	25% Prime	N/A	57.5	87.1	93.5	96.2	99.4	101	100	94.5	87	75.4	106.2
	50% Prime	N/A	61	90.7	94.1	101.7	105	105	102.9	100.9	94.5	78.5	110.7
	75% Prime	N/A	62.3	93.5	97	106.2	108.4	107.4	105.4	102.9	99.2	82.8	113.7
	100% Prime	N/A	61.8	95.5	98.9	109.7	109.5	109.6	107.6	105.7	101.6	88.4	116
	100% Standby	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Enclosed (Mounted Muffler)	0% Prime	N/A	41.9	55.0	71.7	75.5	71.7	78.0	80.2	72.6	66.1	51.2	84.1
	25% Prime	N/A	40.3	58.7	73.8	77.5	75.0	82.7	84.4	77.0	70.9	56.7	88.0
	50% Prime	N/A	46.2	64.9	73.0	76.4	76.4	82.9	84.0	78.8	72.8	64.6	88.1
	75% Prime	N/A	50.6	69.3	76.0	81.5	76.6	81.8	82.9	79.3	75.4	68.5	88.5
	100% Prime	N/A	51.7	71.9	77.9	84.5	76.8	82.2	82.8	79.7	75.6	69.4	89.6
	100% Standby	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Global Notes:

1. Sound pressure levels at 1 meter are measured per the requirements of ISO 3744, ISO 8528-10, and European Communities Directive 2000/14/EC as applicable. The microphone measurement locations are 1 meter from a reference parallelepiped just enclosing the generator set (enclosed or unenclosed).
2. Seven-meter measurement location 1 is 7 meters (23 feet) from the generator (alternator) end of the generator set, and the locations proceed counter-clockwise around the generator set at 45° angles at a height of 1.2 meters (48 inches) above the ground surface.
3. Sound Power Levels are calculated according to ISO 3744, ISO 8528-10, and or CE (European Union) requirements.
4. Exhaust Sound Levels are measured and calculated per ISO 6798, Annex A.
5. Reference Sound Pressure Level is 20 µPa.
6. Reference Sound Power Level is 1 pW (10^{-12} Watt).
7. Sound data for remote-cooled generator sets are based on rated loads without cooling fan noise.
8. Sound data for the generator set with infinite exhaust do not include the exhaust noise contribution.
9. Published sound levels are measured at CE certified test site and are subject to instrumentation, measurement, installation and manufacturing variability.
10. Unhoused/Open configuration generator sets refers to generator sets with no sound enclosures of any kind.
11. Housed/Enclosed/Closed/Canopy configuration generator sets refer to generator sets that have noise reduction sound enclosures installed over the generator set and usually integrally attached to the skid base/base frame/fuel container base of the generator set.
12. Published sound levels meet the requirements India's Central Pollution Control Board (Ministry of Environment & Forests), GSR 371 (E), which states the A-weighted sound level at 1 meter from any diesel generator set up to a power output rating of 1000kVA shall not exceed 75dB(A)
13. For updated noise pollution information for India see website: <http://www.envfor.nic.in/legis/legis.html>
14. Sound levels must meet India's Ambient Air Noise Quality Standards detailed for Daytime/Night-time operation in Noise Pollution (Regulation and Control) Rules, 2000
15. Operator Location is near genset control panel and is at 1 meter distance from genset control panel and at 1.6 meter height.



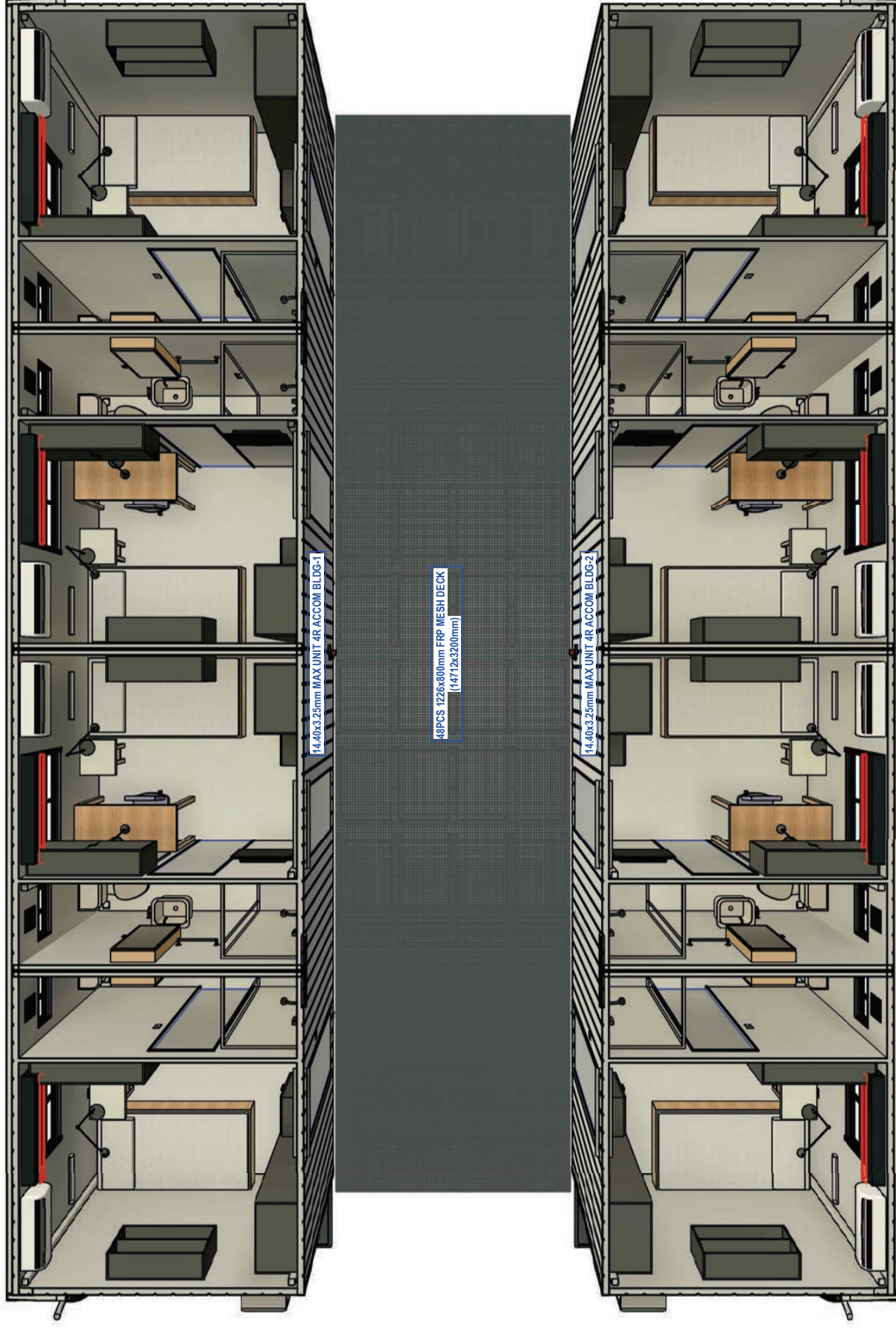
VIEWS INDICATIVE ONLY

DRAWING LIST			
Sheet Number	Drawing Name	Current Revision	
000	COVER SHEET	IFT-1	
001	3D PRESENTATION	IFT-1	
100	SITE ALIGNMENT PLAN	IFT-1	
101	ELEVATIONS	IFT-1	
102	ELEVATIONS	IFT-1	



14.4x3.25m MAX UNIT

4R ACCOM - SITE LAYOUT





A2-56 Horse & Jockey Road, Racecourse, Queensland
Australia 4008
Phone: 08 9469 6000
Email: info@abodemodular.com.au
Website: abodemodular.com.au

REVISIONS		
NO	DESCRIPTION	DATE
IFT-1	ISSUED FOR TENDER	08/29/2025

	For Information (IF)	For Manufacturing (MF)
	For Review (RF)	For Construction (FC)
	For Review (RF)	For Actual (FA)
	For Review (RF)	Others
	For Review (RF)	

REFERENCE	DRAWING NO.	REV.	REMARK



CONSULTANTS:

ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
FREE ENGINEERING	

CLIENT

JUBILEE METALS

PROJECT PROJECT ADDRESS

14.4x3.25m MAX UNIT

4R ACCOM - SITE LAYOUT

LOCAL AUTHORITY

REGION C, TERRAIN 2 AUSTRALIA WIDE

DRAWING NAME

SITE ALIGNMENT PLAN

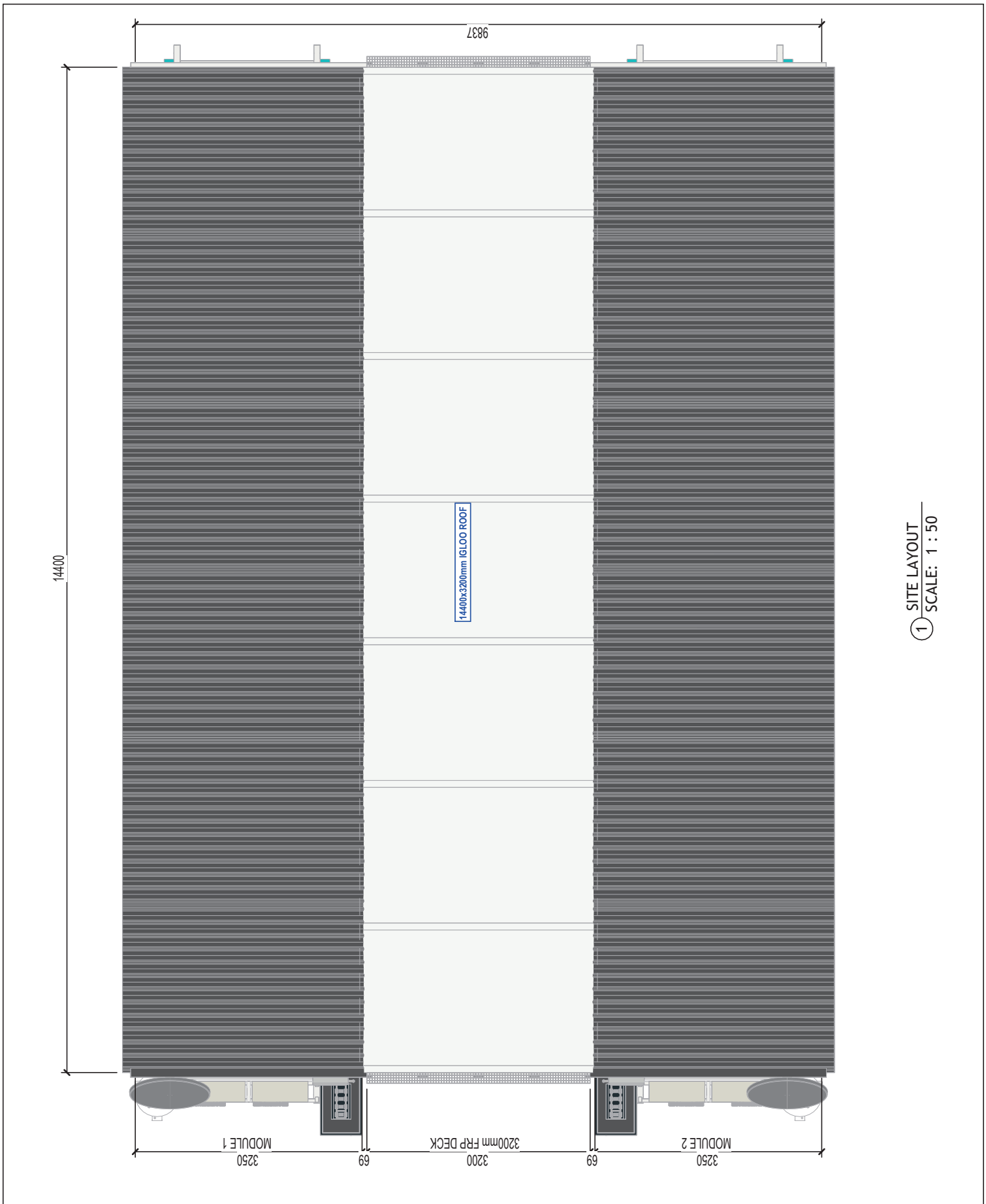
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INFORMATION

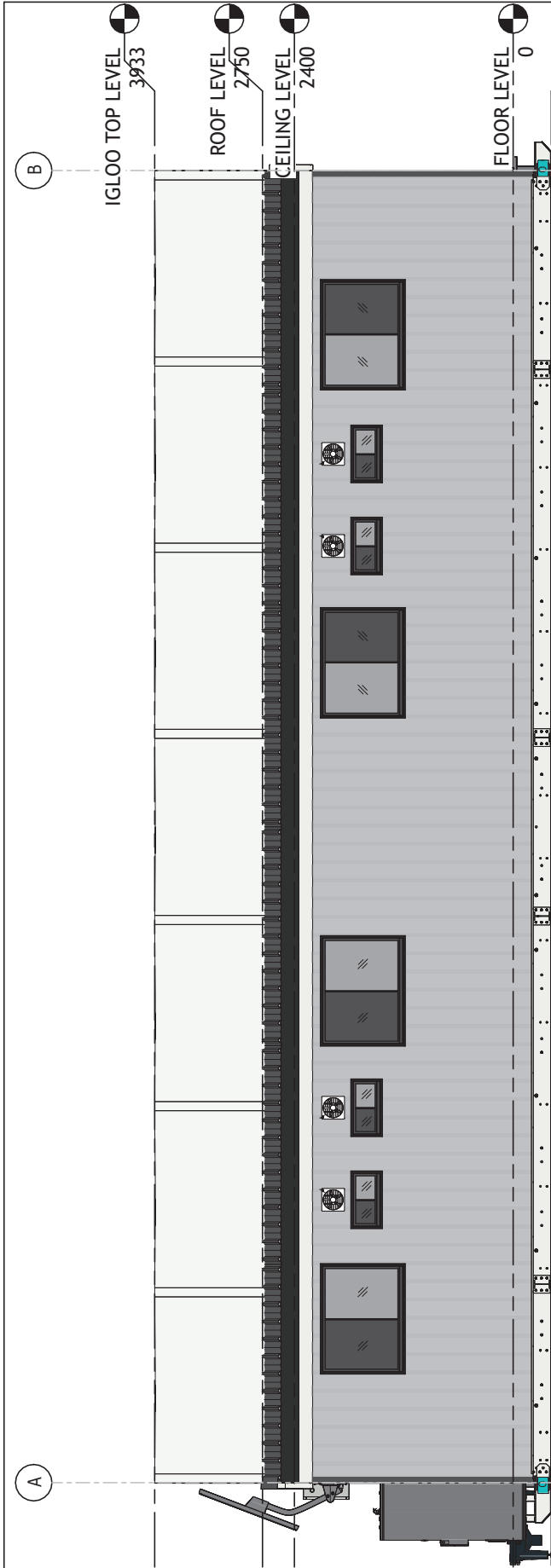
PHASE

FOR REVIEW

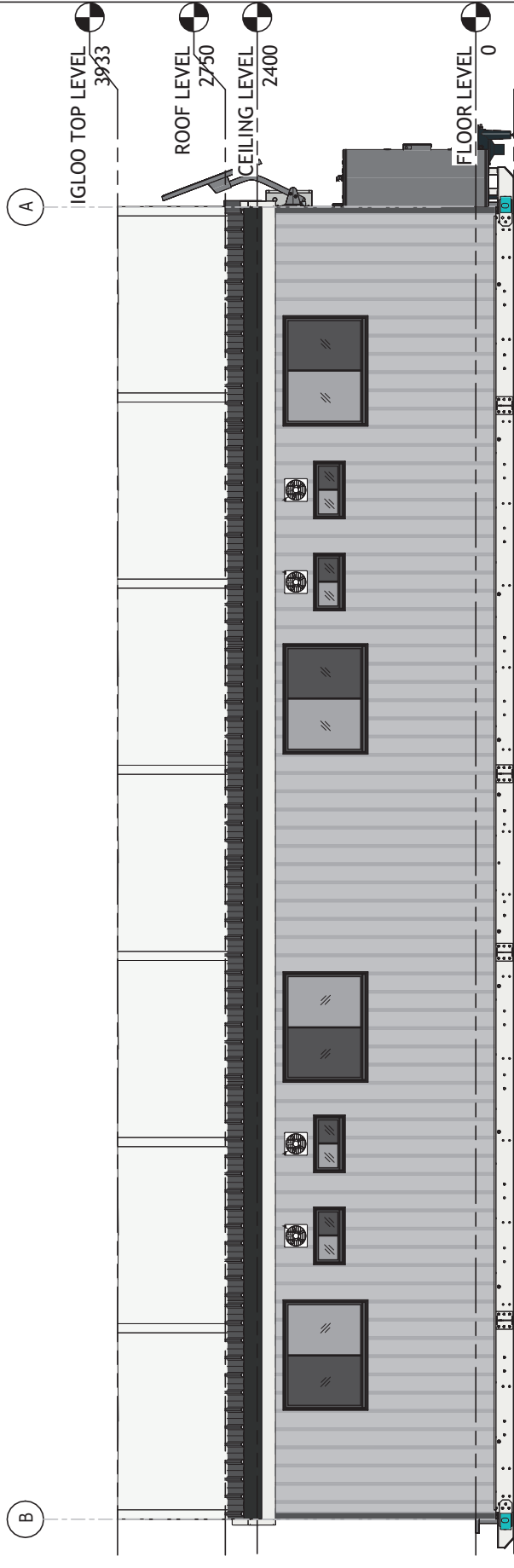
DRAWN BY:	EKD	CHECKED BY:	AB	APPROVED BY:	AB
PROJECT CODE:	PN26	SCALE:	1 : 50	SIZE:	A3
CONTROLLED CODE:	JN1539	SIGNAL BREAKDOWN			
DRAWING NO.	100	REV.	IFT-1		



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① ELEVATION
SCALE: 1 : 50



② ELEVATION
SCALE: 1 : 50



A256 Horse & Jockey Road, Racecourse, Queensland
Australia
Phone: 07 5599 6000
Email: info@abodemodular.com.au
Website: abodemodular.com.au

REVISIONS		
NO	DESCRIPTION	DATE
IFT-1	ISSUED FOR TENDER	08/25/2025

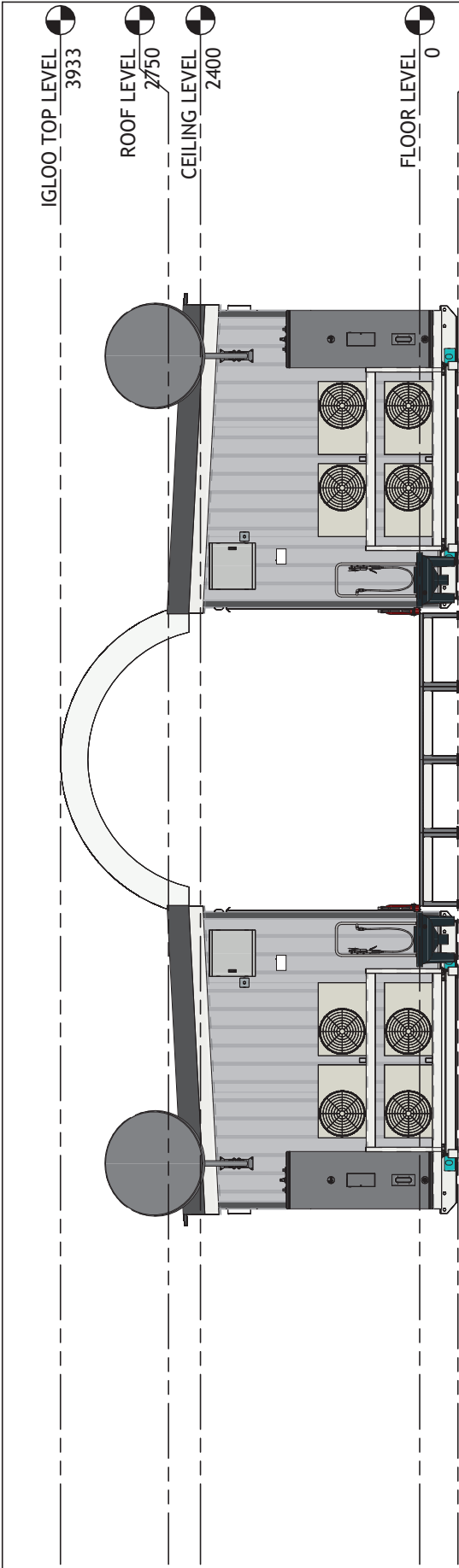
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	For Construction (C)
	For Assembly (A)
	For Installation (I)
	For Other (O)
	For Other (O)

REFERENCE	REVISION	REMARK

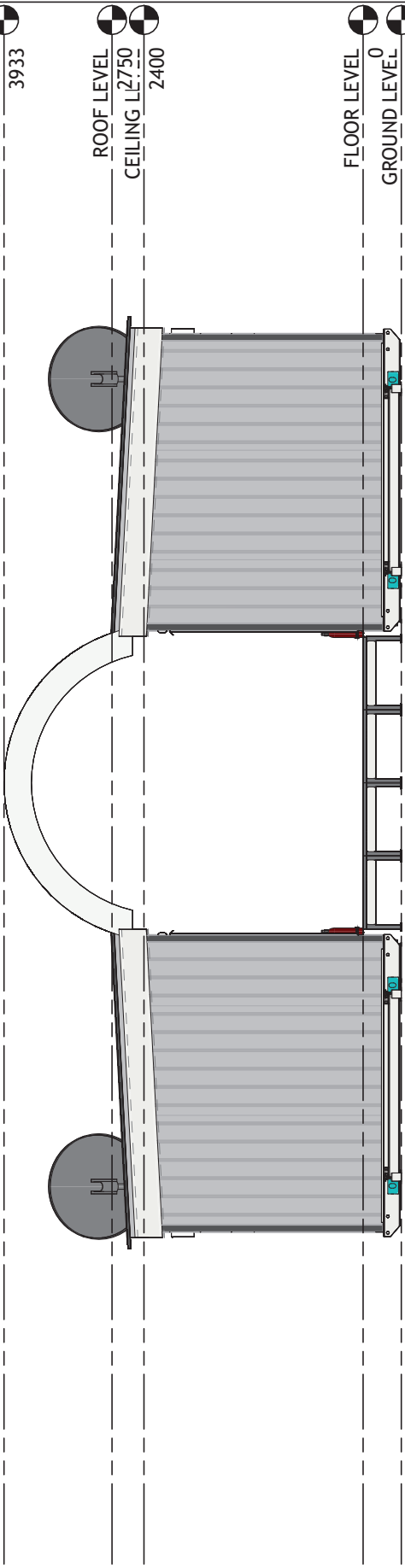


CONSULTANTS:
ARCHITECTURE
STRUCTURE
HYDRAULIC
MECHANICAL
FREE ENGINEERING

CLIENT
JUBILEE METALS
PROJECT PROJECT ADDRESS
14.4x3.25m MAX UNIT
4R ACCOM - SITE LAYOUT
LOCAL AUTHORITY
REGION C, TERRAIN 2 AUSTRALIA WIDE
DRAWING NAME
ELEVATIONS
DRAWING DISCIPLINE
INFORMATION
PHASE
FOR REVIEW
DRAWN BY
ENGINEERED BY
APPROVED BY
EKO
AB
AB
PROJECT CODE
PN26
SCALE
1 : 50
CONTROLLED CODE
JNT539
DRAWING NO.
101
REV
IFT-1

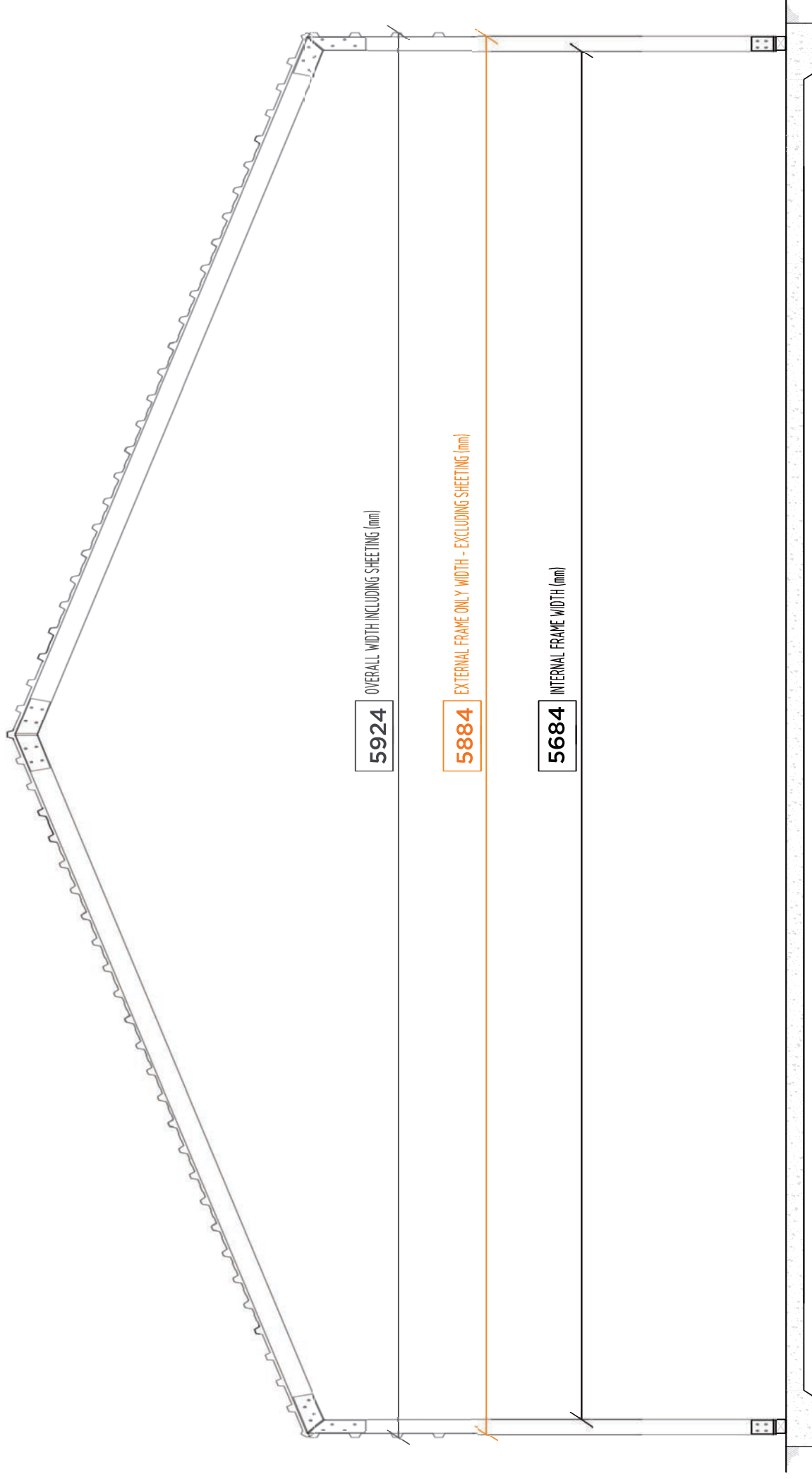


1 ELEVATION
SCALE: 1 : 50



2 ELEVATION
SCALE: 1 : 50

5.9m Wide - 100mm Frame



[illegible]

For Information (IF)		For Manufacturing (FM)
For Review (FR)		For Construction (FC)
For Resource Consent (RC)		For As-built (FAB)
For Building Consent (BC)		Others
For Tender (FT)		

REFERENCE		
DRAWING NO.	REV.	REMARK

CONSULTANTS:	
ARCHITECTURE	
STRUCTURE	
HYDRAULIC	
MECHANICAL	
FIRE ENGINEERING	

CLIENT :	ABODE MODULAR
PROJECT / PROJECT ADDRESS :	

JUBILEE METALS
DEMOBE FACILITIES

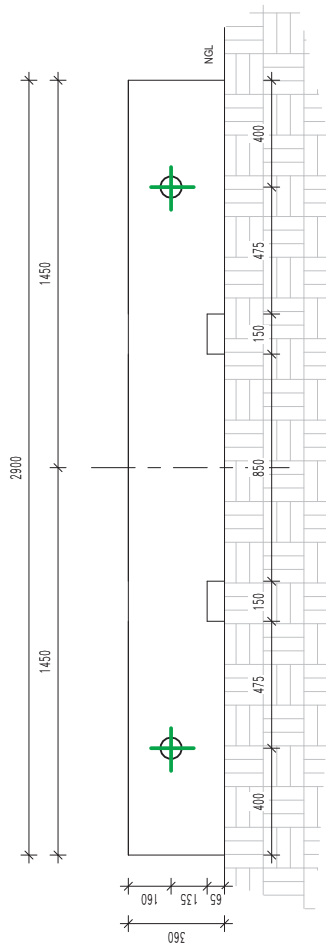
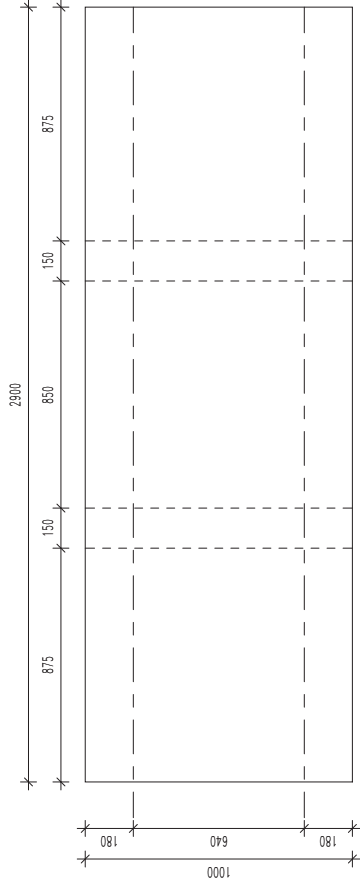
LOCAL AUTHORITY :
REGION C, TERRAIN 2. AUSTRALIA WIDE

DRAWING NAME :
**CONCRETE PRECAST FOOTING
DETAIL**

DRAWING DISCIPLINE	INFORMATION
PHASE	FOR CONSTRUCTION

FOR CONSTRUCTION			
DRAWN BY:	EKD	CHECKED BY:	AB
PROJECT CODE:	PN28	SCALE	1 : 20
		APPROVED BY:	AB
			SIZE
			A3

CONTROLLED CODE:	SPATIAL BREAKDOWN:
DRAWING NO.: 209	REV: IFC-1



TYPICAL MODULE CHASSIS AND FOOTING CONNECTION DETAIL



Phone: 1300 753 742
Email: info@qldshadesheds.com.au
Business Address: 18-20 Industrial Place, Yandina QLD 4561
Postal Address: PO Box 196, Yandina QLD 4561
ABN: 18 667 552 043

Assembly Instructions

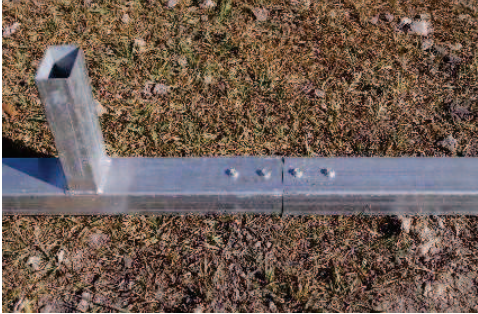
SHADE SHED 100MM FRAME

Wind Regions A, B & C

Hold Downs: *Ground Anchors*

Notes:

- For shed footings/hold downs, check **footing layout** for correct spacings.
- Images used in Assembly Instructions are to provide guidance when erecting your shade shed and may not represent the exact shed you are installing.
- Instructions are suggestion only. Always install using safety requirements applicable to your site.
- If for any reason the construction fails to comply with requirements of the supplied engineering certification, QLD Shade Sheds reserves the right to offer a partial approval for Warranty purposes to cover only the workmanship, proprietary products and materials supplied. QLD Shade Sheds will not be liable to cover supplied items in the event of a noncompliant construction.

STEP 1 The base rail for each side will come in two parts. Join base rail together and screw in place using framing screws provided. Make sure the base rail is straight before screwing. Two screws are required per connection, per component. <i>Refer Image 1</i>	 Image 1
STEP 2 Place base rails in position using measurements provided on the footing layout and mark on the ground where the end of each base rail will be. <i>Refer Image 2</i>	 Image 2
STEP 3 Using the footing layout, mark where your ground anchors (hold downs/footings) will go. Move the base rail to the side and hammer ground anchors into the ground. Ground anchor spikes must finish flush with ground level ensuring that only threaded rod is above ground. Refer footing layout ground anchor detail. You can use the base rail as a straight edge to make sure the footings are straight and in line. <i>Refer Image 3</i>	 Image 3
STEP 4 Attach base rail to footings using saddles and nuts provided. <i>Refer Image 4</i>	 Image 4

STEP 5

Join rafters together on the ground with the Apex Easy Sleeves, then use framing screws provided to secure.

Two screws are required per connection, per component, on both sides of the frame.

Refer Images 5, 6 & 7

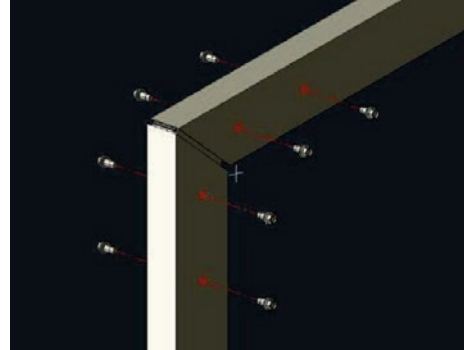


Image 5



Image 6



Image 7

STEP 6

Join columns to the rafters on the ground using corner Easy Sleeves, then use framing screws provided to secure.

Two screws are required per connection, per component, on both sides of the frame.

Refer Image 8 & 9

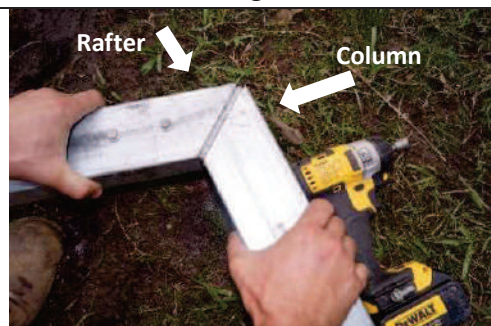
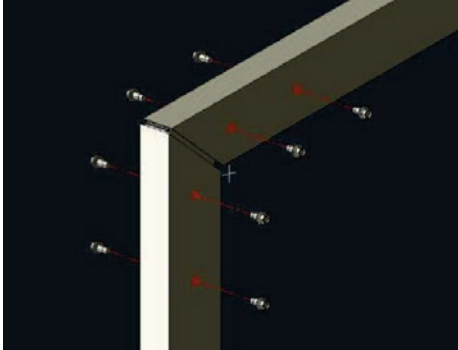
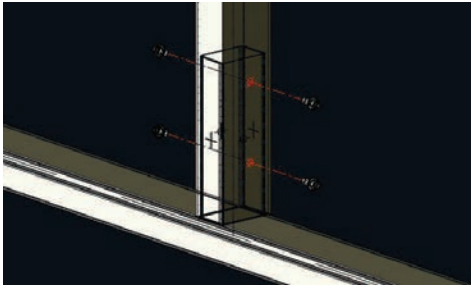
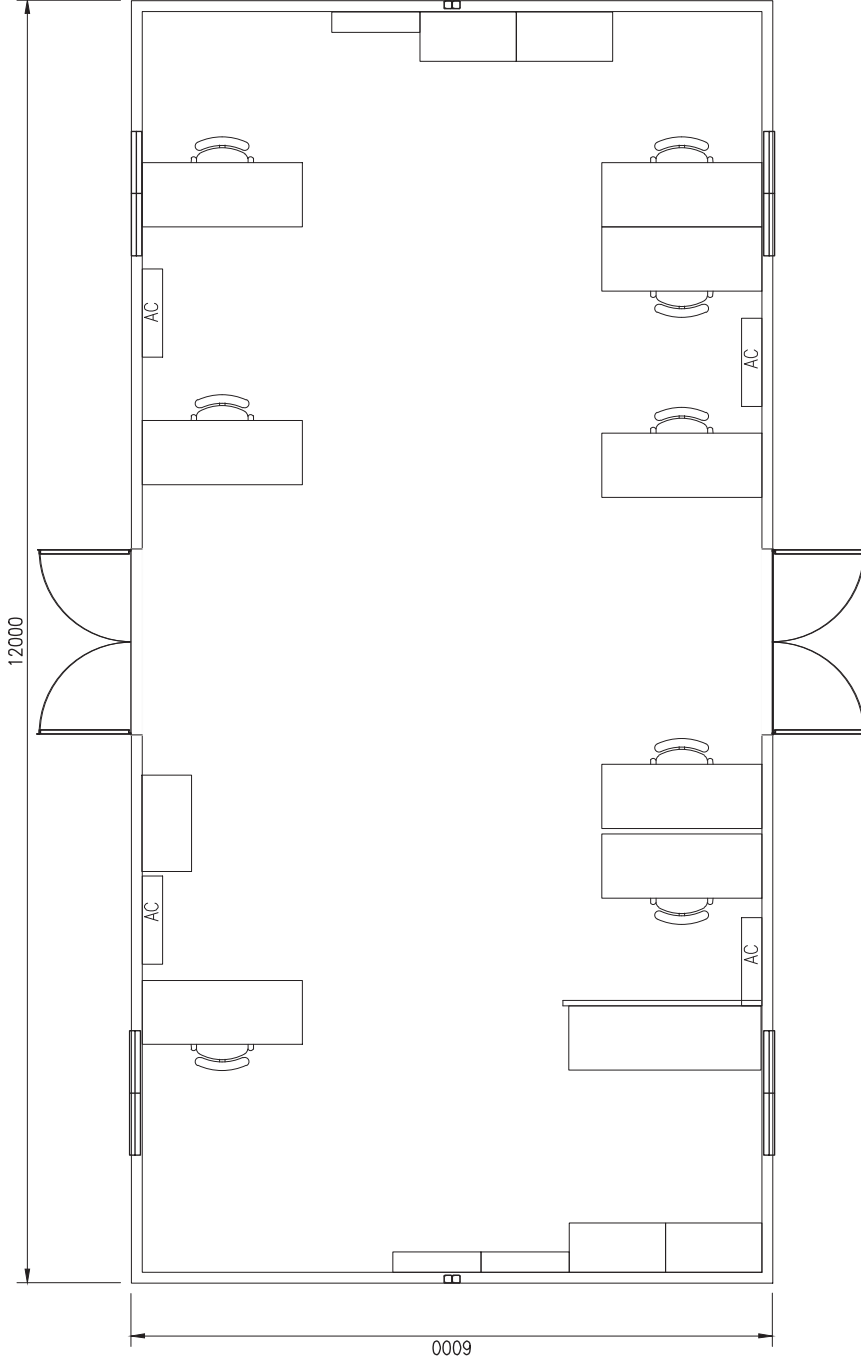


Image 8

	 Image 9
STEP 7 Stand your portal and lower onto base rail sleeves. <i>Once all portals are attached to the base rail sleeves, check apex heights and corner heights. If you are on uneven ground, you can adjust the height of the portals by raising the column on the base rail sleeve.</i> Refer Image 10	 Image 10
STEP 8 Screw portals to base rail with framing screws provided. Two screws are required per connection, per component, on both sides of the frame. Refer Image 11 & 12	 Image 11  Image 12
STEP 9 Proceed with installing the sheeting as per 'Assembly Instructions – Sheeting'.	



Please Note: Furniture is
indicative only, refer to
contract for inclusions.

FINISHES SCHEDULE	
FLOOR COVERING	– 2.0mm SEAMLESS VINYL
EXTERNAL FINISHES	– CCS MESA PROFILE, – COLOUR MERINO
INTERNAL FINISHES	– 3.6mm PREFINISHED PLYWOOD



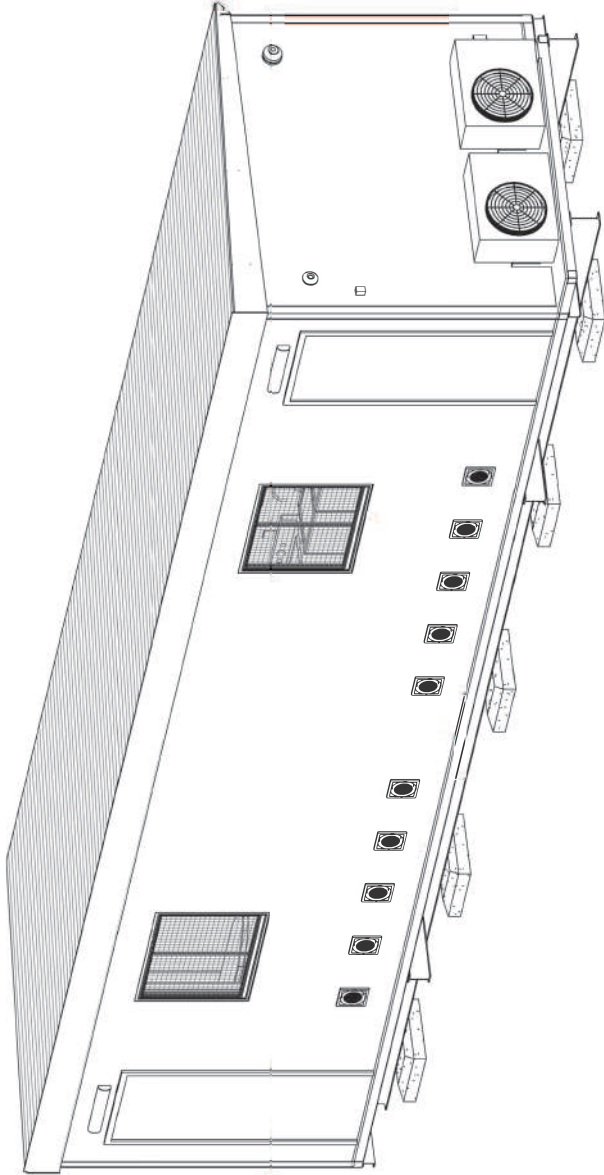
Proposed Office
Layout

Ausco Mobile Camp

Ausco Modular

A		AS NOTED	ORIGINAL		
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Drawn By	Drawn Date	Scale			
SBP	Aug 17	1:50			
Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE			
Dwg No.	OFF-01		Sheet	Issue	
				A	

LAUNDRY UNIT



FOR TENDER

SHEET SCHEDULE			
SHEET	TITLE	REV	REV. DATE
S06	FLOOR FRAMING LAYOUT	0	21/09/23
S07	ROOF FRAMING LAYOUT	0	21/09/23
S09	DOOR & WINDOW SCHEDULE	0	21/09/23
S9.1	WINDOW SECTION	0	21/09/23
S10	ELECTRICAL LAYOUT	0	21/09/23
S11	PLUMBING LAYOUT	0	21/09/23
S12	PRODUCT SPECIFICATIONS	0	21/09/23
S13	CONSTRUCTION NOTES	0	21/09/23

SHEET SCHEDULE			
SHEET	TITLE	REV	REV. DATE
A01	SHEET SCHEDULE	0	21/09/23
A02	3D PRESENTATION	0	21/09/23
A03	FLOOR PLAN	0	21/09/23
A04	ELEVATIONS	0	21/09/23
A05	SECTION & DETAILS	0	21/09/23
A06	SECTIONS & DETAILS	0	21/09/23
S04	FOOTING LAYOUT	0	21/09/23
S05	CHASSIS LAYOUT	0	21/09/23

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21/09/2023 10:42:13 AM

DD1231 - 12 x 3m_Laundry Unit		SHEET SCHEDULE		DRAWING NUMBER: NTD23-07081		SHEET: A01		SCALE:		ISSUE: 10		REVISION: 0			
GENERAL NOTES:												DRAWN BY: SH/NP		CHECKED (PW): GW	
CUSTOMER APPROVED:												CHECKED (PW): RH		STAMPER: RH	
CUSTOMER NAME:															
DATE:															
REV	DATE	BY	DESCRIPTION												
0	21/09/23	NP	ISSUED FOR CONSTRUCTION												
1	16/09/23	NP	ISSUED FOR REVIEW 95%												
2	17/07/23	SW	ISSUED FOR REVIEW 75%												
3	20/05/19	SW	ISSUED FOR REVIEW 50%												

21/09/2023 10:42:13 AM
REV: 1
DESCRIPTION: 3D PRESENTATION
20/05/19 SW ISSUED FOR REVIEW 50%
17/05/19 SW ISSUED FOR REVIEW 75%
16/05/19 NP ISSUED FOR CONSTRUCTION
10/05/19 NP ISSUED FOR REVIEW 95%
02/05/19 NP ISSUED FOR CONSTRUCTION

Left Edge:
It is advised that the drawings be checked by the client prior to construction.
If any errors are found, please contact the architect immediately.
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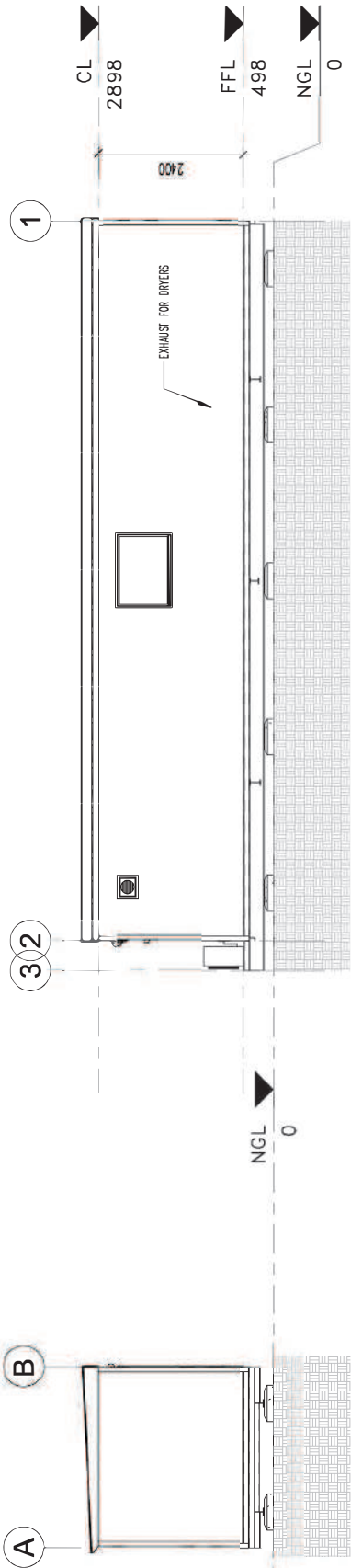
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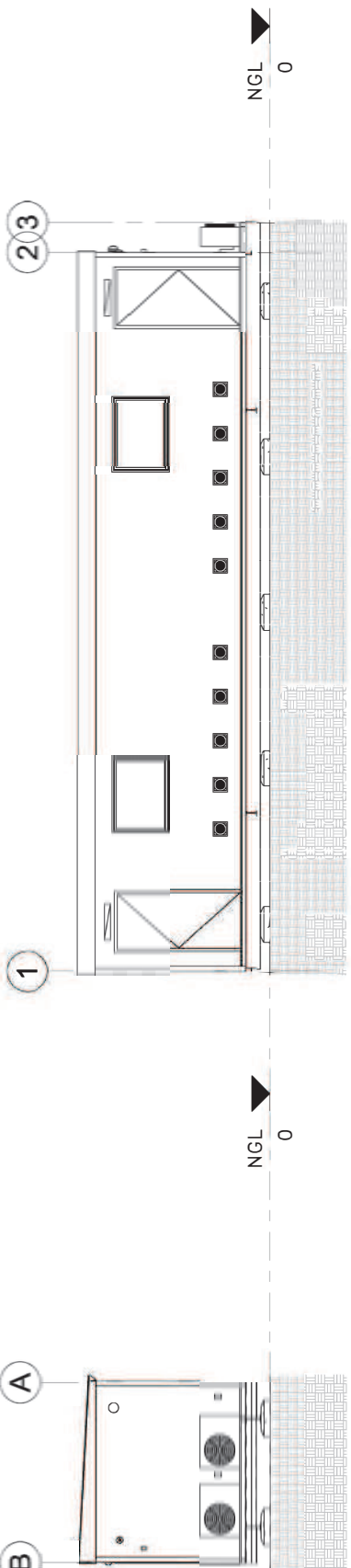
DD1231 - 12 x 3m Laundry Unit
3D PRESENTATION

DRAWING NUMBER:	NTD23-07081	SHEET:	A02	SCALE:	10	REVISION:	0
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FOR TENDER



ELEVATION 2
1 : 75



ELEVATION 4
1 : 75

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REV	DATE	BY	DESCRIPTION
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1	16/09/23	NP	ISSUED FOR REVIEW 95%
2	17/07/23	SW	ISSUED FOR REVIEW 75%
3	20/05/19	SW	ISSUED FOR REVIEW 50%

CUSTOMER APPROVED:
CUSTOMER NAME:
DATE:

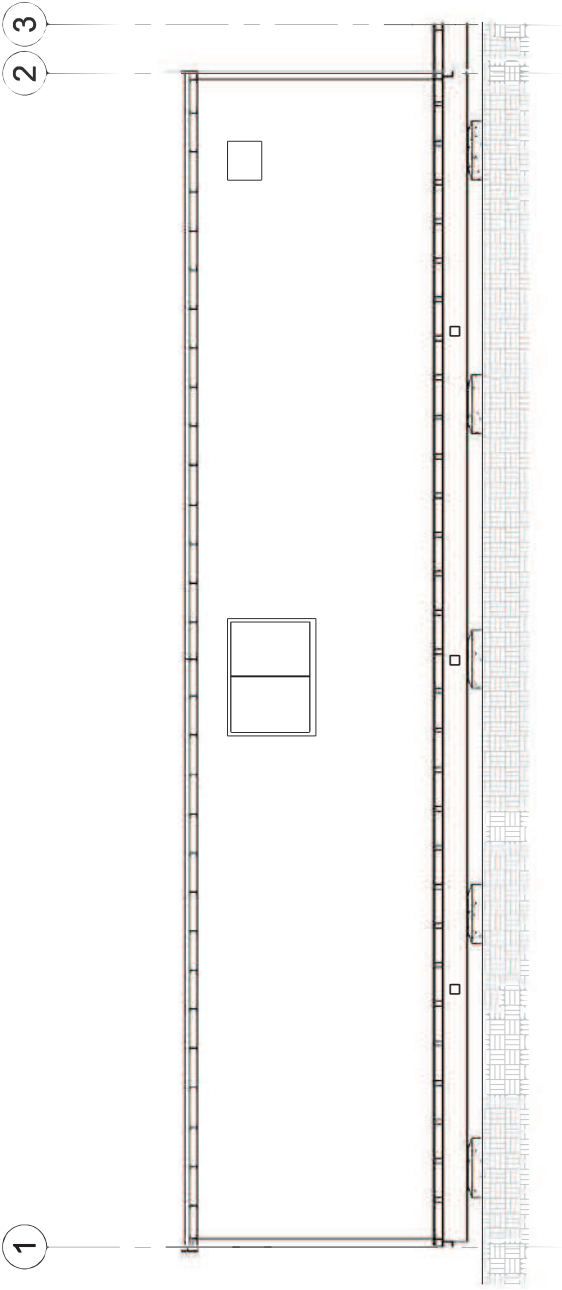
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RH	RH



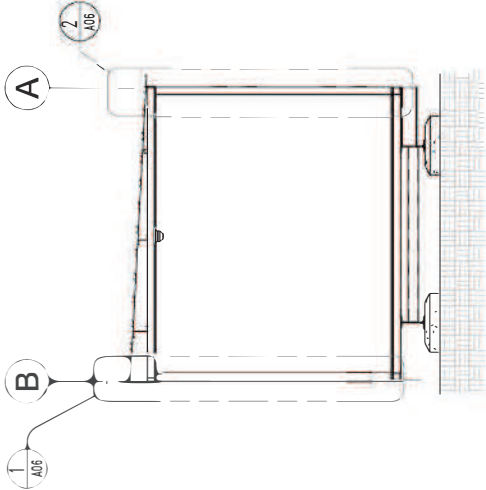
DD1231 - 12 x 3m Laundry Unit
ELEVATIONS

DRAWING NUMBER:	SHEET:	SCALE:	ISSUE:	REVISION:
NTD23-07081	A04	1 : 75	10	0

FOR TENDER



SECTION 1
1 : 50



SECTION 2
1 : 50

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REV	DATE	BY	DESCRIPTION
0	21/09/23	NP	ISSUED FOR CONSTRUCTION
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E	17/07/23	SW	ISSUED FOR REVIEW 75%
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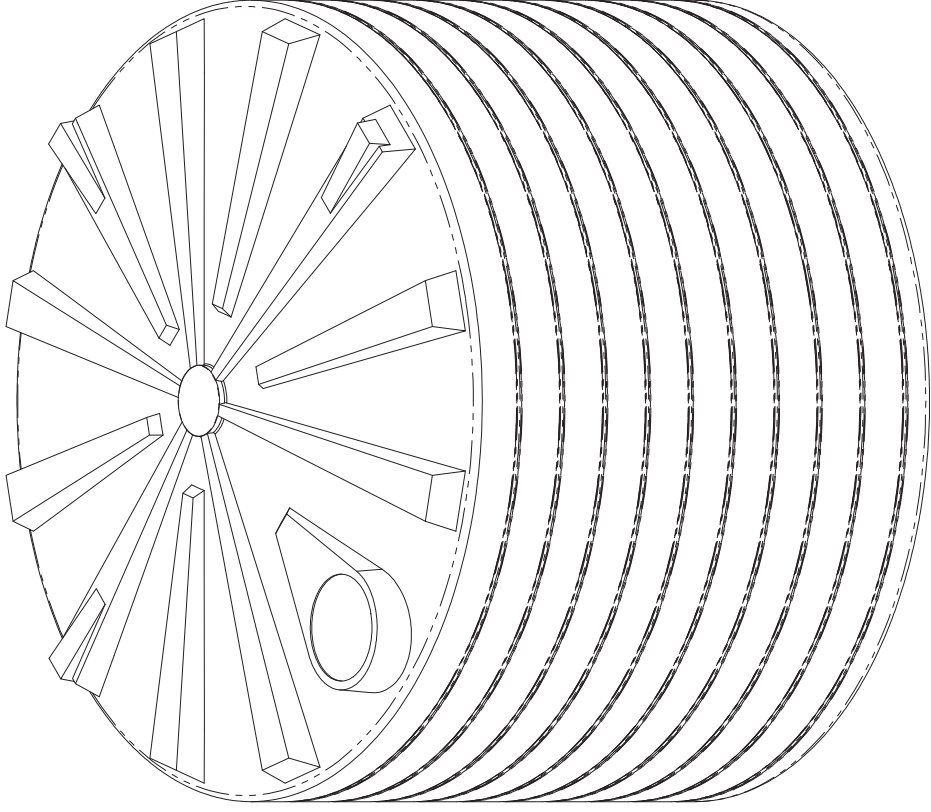
GENERAL NOTES:
CUSTOMER APPROVED:
CUSTOMER NAME:
DATE:

DRAWN BY:	CHECKED (M):
SH/NP	GW
CHECKED (P):	STAMPER:
RH	RH



RAYTHEON DELAWARE 100 PERSON CAMP
DD1231 - 12 x 3m_Laundry Unit
SECTION & DETAILS

DRAWING NUMBER:	NTD23-07081	SHEET:	A05	SCALE:	1 : 50	ISSUE:	10	REVISION:	0
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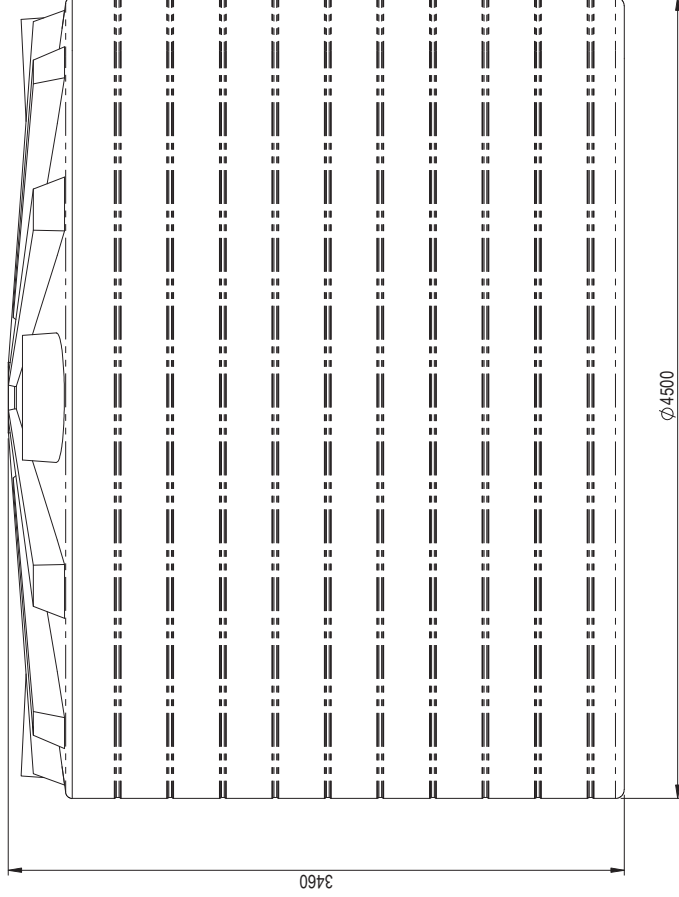


ISOMETRIC VIEW

OVERFLOW HEIGHT 2500mm

WALL HEIGHT 2650MM

All measurements are approx.



FRONT VIEW

ALL WELDING TO BE WELD CATEGORY GP UNO. WELD CATEGORIES GP AND SP TO BE IN ACCORDANCE WITH AS1554 P1 or 4. REMOVE SHARP CORNERS, BURRS AND WELDSPATTER. BLEND DISCONTINUITIES.				ALL MACHINED SURFACES TO BE UNO. MACHINING TOLERANCES ARE ±0.2mm UNLESS NOTED. FABRICATION TOLERANCES ARE ±2mm UNLESS NOTED.				PE TOLERANCE ±3%		Mass: kg		DESIGN: - DRAWN: DB APP'D:		- 18.08.10		10,500 gal 47,800 ltrs		SHEET SIZE A3	
PROTECT MACHINED SURFACES PRIOR TO PAINTING. DIMENSIONS SHOWN () ARE FOR REFERENCE ONLY.																			
A FOR CONSTRUCTION				AS APPROVED				DRAWN		APP'D		SCALE: 1:30		DO NOT SCALE				DRAWING NUMBER TD10000	
REV				DESCRIPTION				DATE										REV A0	
THIS DRAWING REMAINS THE PROPERTY OF AUSTRALIAN WATER SYSTEMS AND MAY NOT BE MANUFACTURED FROM, COPIED OR TRANSMITTED TO A THIRD PARTY WITHOUT PRIOR APPROVAL FROM AUSTRALIAN WATER SYSTEMS																		SHEET: 1 of 1	



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Phone: 07 3271 9777
Fax: 07 3831 7466
Web: www.australianwatersystems.com.au